



09/12/2023

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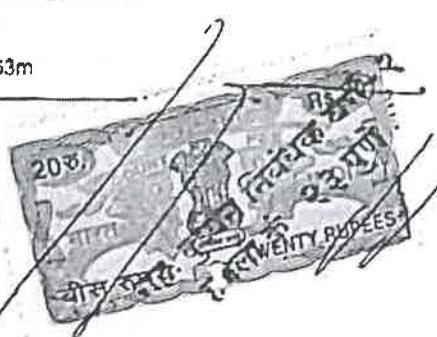
दुर्घटना निवारण : गढ़ दु.नि.ज्वलनी 23

दस्तावेज़ : 29147/2023

नोटरी:

Regn:63m

गावाचे नाव : उंडरी



(1) विनिवाचा प्रकार भांडपट्टा  
 (2) घोषणा 0  
 (3) शासनाभाव (भांडपट्टाचाऱ्या वावनितपट्टाकार आकाशगी देनां की घटनावर न नमुद वरावं)

(4) भू-पापन, पोटहिम्मा व घराहमाफ (व्याप्त्याम) 1) यांत्रिकचे नाव: युंग भ.न.पा. इतर वर्णन : इनार माहिनी: गढ़ भांडी ना हवंती त्रिं पुणे देवीन वळ्ये नं 40/1/1/2/40/1/2 ने 6/प्लॉट नं/52 यांत्री क्षेत्र 00 हे 43.9039 आर पैसी क्षेत्र 40.0000 या मिळकर्त्तव्यान नं मजवाल अधिक दोन मजवाल वांपकाम क्षेत्र 25000 ची कृत विन्दुआ हि मिळकर्त्तव्यान वदरा इन्हाचा विषय भांडी (भांडपट्टा कालावर्धा - 30 वर्षे) ( Survey Number : 40/1/1/2/40/1/2/6/प्लॉट नं/52 ; )

(5) प्रत्राकृत 1) 40.0000 भारतीय रुपये

(6) आवाशी किंवा तुर्डी इण्यात अमेल नेव्हा.

(7) इन्हांच्या कल्पना-या/लिहून घेवणा-या प्रधाकाराचे नाव किंवा दिवाणी न्यायालयाचा द्रुकुमानामा किंवा आदेश असल्याम, प्रतिवादिचे नाव व पत्ता.

(8) इन्हांच्या कल्पना-या प्रधाकाराचे व किंवा दिवाणी न्यायालयाचा द्रुकुमानामा किंवा आदेश असल्याम, प्रतिवादिचे नाव व पत्ता

1) यांत्रिकचे नाव: युंग भ.न.पा. इतर वर्णन : इनार माहिनी: गढ़ भांडी ना हवंती त्रिं पुणे देवीन वळ्ये नं 40/1/1/2/40/1/2 ने 6/प्लॉट नं/52 यांत्री क्षेत्र 00 हे 43.9039 आर पैसी क्षेत्र 40.0000 या मिळकर्त्तव्यान नं मजवाल अधिक दोन मजवाल वांपकाम क्षेत्र 25000 ची कृत विन्दुआ हि मिळकर्त्तव्यान वदरा इन्हाचा विषय भांडी (भांडपट्टा कालावर्धा - 30 वर्षे) ( Survey Number : 40/1/1/2/40/1/2/6/प्लॉट नं/52 ; )

1) 40.0000 भारतीय रुपये

1): नाव:-मे नारायण गुरुमुकेशनल ट्रस्ट तर्फे अधिकृत न्यायालयाचा तुर्डी विनाय - वयः-46; पत्ता:-प्लॉट नं: -, नाडा नं: -, इमारतीचे नाव: -, ब्लॉक नं: -, गोड नं: वोनिवली (वैट) मुंबई, आंध्र प्रदेश, हैदराबाद, पिन कोडः-500003 रेल नं:-AACTN2045G

1): नाव:-मार्फिं अॅन्ड नेचर कल्पनाम एन एल पी नॉर्थ पार्टनर च्या नॉर्थ इन्हांच्या प्रवेशामार्गी कु.मु. निकिता रनवानाल दगडिया वयः-, पत्ता:-प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: -, ब्लॉक नं: -, गोड नं: वांगर पुणे, महाराष्ट्र, पुणे, पिन कोडः-411045 पैन नं:-ABVFM8455H

2): नाव:-वावामाहेव भगवान आत्मीये वयः-, पत्ता:-प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: -, ब्लॉक नं: -, गोड नं: प्रांग वाणीर पुणे, महाराष्ट्र, पुणे, पिन कोडः-411045 पैन नं:-ABVFM8455H

3): नाव:-सर्वीश किमनलाल सोनी वयः-, पत्ता:-प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: -, ब्लॉक नं: -, गोड नं: प्रांग वाणीर पुणे, महाराष्ट्र, पुणे, पिन कोडः-411045 पैन नं:-ABVFM8455H

4): नाव:-माहिल राजेश दगडिया वयः-, पत्ता:-प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: -, ब्लॉक नं: -, गोड नं: प्रांग वाणीर पुणे, महाराष्ट्र, पुणे, पिन कोडः-411045 पैन नं:-ABVFM8455H

5): नाव:-मे.मार्फिं अॅन्ड नेचर कल्पनाम तर्फे भागीदार च्या नॉर्थ इन्हांच्या प्रवेशामार्गी हु.मु. मंजर विश्वनाय हुलकर्णी वयः-, पत्ता:-प्लॉट नं: -, माळा नं: -, इमारतीचे नाव: -, ब्लॉक नं: -, गोड नं: अंग वाणीर पुणे, महाराष्ट्र, पुणे, पिन कोडः-411045 पैन नं:-ABVFM8455H

मह. दुर्घटना विवरक वर्णन-२  
हस्ताक्षीकृत-२३, पुणे, -

(9) इन्हांच्या फटन दिल्याचा दिनांक 09/12/2023  
 (10) इन्हांची दोन्ही कल्पनाचा दिनांक 09/12/2023  
 (11) अनुक्रमांक, त्रुंह व पृष्ठ 29147/2023  
 (12) शासनाभावाप्रमाणे सूटांक शुल्क 8007000  
 (13) शासनाभावाप्रमाणे नोंदवणी शुल्क 30000  
 (14) शुल्क

मुद्यावासामार्गी विवाचान घेवण्यासा तपशीलः-

मुद्यावासामाना निवडलेला अनुच्छेद :- : (i) within the limits of any Municipal Corporation or any Cantonment area annexed to it.



NARAYANA EDUCATIONAL TRUST

  
SECRETARY



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D HAVELI Document Handling Charges  
Inspector General of Registration & Stamps

### Receipt of Document Handling Charges

PRN	1223075917433	Receipt Date	09/12/2023
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Received from MS MIND AND NATURE ASSOCIATES, Mobile number 000000000000, an amount of Rs.900/-, towards Document Handling Charges for the Document to be registered on Document No. 29147 dated 09/12/2023 at the Sub Registrar office Joint S.R.Haveli 23 of the District Pune.



### Payment Details

Bank Name	SBIN	Payment Date	07/12/2023
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Bank CIN	10004152023120715777	REF No.	IGAQNWLC1
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Deface No	1223075917433D	Deface Date	09/12/2023
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This is computer generated receipt, hence no signature is required.

NARAYANA EDUCATIONAL TRUST

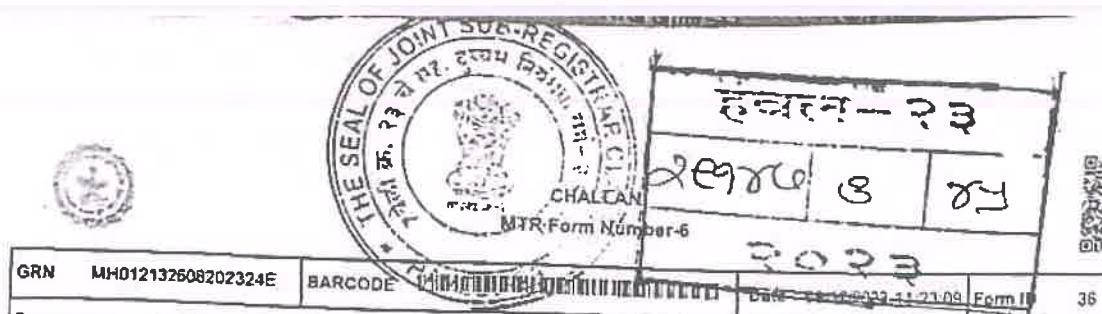
  
SECRETARY

GRN	MH012050581202324E	Barcode	Date	07/12/2023 12:12:00	Form ID: 36				
Department Inspector General Of Registration * HAVELI NO 1		Payer Details							
Stamp Duty Type of Payment Registration Fee		TAX ID / TAN (If Any)							
		PAN No.(If Applicable)		ABVFM84554					
Office Name HVL1_HAVELI NO1 SUB REGISTRAR		Full Name		MS MIND AND NATURE ASSOCIATES					
Location PUNE									
Year 2023-2024 One Time		Flat/Block No.		SURVEY NO 40/1/1/2/40/1/2 TO 6/PLOT NO:52					
Account Head Details		Premises/Building							
0030046401 Stamp Duty		Road/Street		UNDRI					
0030063301 Registration Fee		Area/Locality		PUNE					
		Town/City/District							
		PIN		4	1	1	0	6	0
		Remarks (If Any)							
		PAN2=AACTN2045G-SecondPartyName=MS		NARAYANA					
		EDUCATIONAL TRUST~							
 <b>₹ 7132000.00</b>									
 <b>Total</b>		Amount In		Seventy One Lakh Thirty Two Thousand Rupees Only					
		Words							
Payment Details STATE BANK OF INDIA		FOR USE IN RECEIVING BANK							
Cheque-DD Details		Bank CIN	Ref. No.	00040572D23120735001	CKY8664991				
Cheque/DD No.		Bank Date	RBI Date	07/12/2023-05:14:23	Not Verified with RBI				
Name of Bank		Bank-Branch	STATE BANK OF INDIA						
Name of Branch		Scroll No. , Date	342 , 08/12/2023						

Department ID : Mobile No. : 0000000000  
 NOTE:- This challan is valid for document to be registered in Sub Registrar office only. Not valid for unregistered document.  
 मंत्रालयात निश्चिक कायोंतर्यात लोटणी प्राप्तव्याच्या दस्तावेजांची लागू असेहे. गोटेंगी न घायल्याच्या दस्तावेजांची राट्र नाही आहे.

#### Challan Defaced Details

Sr. No.	Remarks	Defacement No.	Defacement Date	User Id	Defacement Amount
1	(IS)-524-29147	0006364327202324	09/12/2023-12:08:59	IGR564	30000.00
2	(IS)-524-29147	0006364327202324	09/12/2023-12:08:59	IGR564	7102000.00
Total Defacement Amount					71,32,000.00

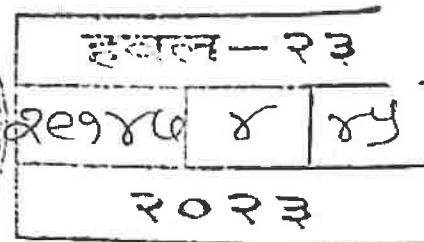


GRN	MH012132608202324E	BARCODE	Date	09/12/2023 11:21:09	Form No.	36			
Department	Inspector General Of Registration	Payer Details							
Type of Payment	Stamp Duty	TAX ID / TAN (If Any)							
	Registration Fee								
Office Name	HVL1_HAVELI NO1 SUB REGISTRAR	PAN No. (If Applicable) ABVFM845SH							
Location	PUNE	Full Name	MS MIND AND NATURE ASSOCIATES						
Year	2023-2024 One Time	Flat/Block No.	SURVEY NO 40/1/1/2/40/1/2 TO 6/PLOT NO.52						
Account Head Details		Amount In Re.	Premises/Building						
0030046401 Stamp Duty		905000.00	Road/Street	UNDRI					
			Area/Locality	PUNE					
			Town/City/District						
			PIN	4	1	1	0	6	
			Remarks (If Any)						
			PAN2=AACTN2045G~SecondPartyName=MS	NARAYANA					
			EDUCATIONAL TRUST-						
			Amount In	Nine Lakh Five Thousand Rupees Only					
			Words						
Payment Details	STATE BANK OF INDIA		FOR USE IN RECEIVING BANK						
Cheque-DD Details			Bank CIN	Ref. No.	000405720231209B2839	CKY8798797			
cheque/DD No.			Bank Date	RBI Date	09/12/2023-11:24:24	Not Verified with RBI			
ame of Bank			Bank-BRANCH	STATE BANK OF INDIA					
ame of Branch			Scroll No., Date	Not Verified with Scroll					

Statement ID : 000000000000  
 NOTE: This challan is valid for document to be registered in Sub Registrar office only. Not valid for unregistered document.  
 या चलान म्हणजे दस्तावेज कारोबारात नोंदवणी करावणाऱ्या दस्तावेजी वारु आहे. लोटणी: ले करावणाऱ्या दस्तावेजी संदर चाला दाय.

#### Challan Defaced Details

No.	Remarks	Defacement No.	Defacement Date	Userid	Defacement Amount
1	(IS)-524-29147	0008384323202324	09/12/2023-12:08:52	IGR564	905000.00
Total Defacement Amount					9,05,000.00



### LEASE DEED

This **LEASE DEED** is made and executed on this 09 day of December, 2023 at Pune by and between:

#### M/S. MIND AND NATURE ASSOCIATES

[Income Tax Permanent Account Number ABVFM8455H]

A duly constituted under the governing provisions of Indian Partnership Act, 1932 having its registered address at Deron Heights, Office No. 503, Sr No. 270/1/23, A, Baner, Haveli Pune-411045,  
Through Its Authorized Partners;

#### 1. MIND AND NATURE CONCEPTS LLP

having registered address at Deron Heights, Office No. 503 Sr No. 270/1/23 Aundh, Baner Gaon, Haveli, Pune 411045.

*represented through the designated partner*

**MS. NIKITA RATANLAL DAGDIYA**

Age: About 34 Years, Occupation: Business

#### 2. MR. BABASAHEB BHAGWAN ATKIRE

Age: About 54 Years, Occupation: Business

Residing at: - Shivaji Chowk. Opp. Kavita Floor Mill, Kondhwa Budruk, Pune-411048.

#### 3. MR. SATISH KISANLAL SONI

Age: About 60 Years, Occupation: Business

Residing at: 4002 A, 40 Floor, RA Residencies, Dr Babasaheb Ambedkar Road, Opp Sharda Cinema, Dadar East, Mumbai 400014.

#### 4. MR. SAHIL RAJESH DAGDIYA

Age: About 28 Years, Occupation: Business

Residing at: 14 No. Villa No R-9, Amanora Park Town, Sweet Water Villa Society, Hadapsar, Pune-411028.

#### 5. MR. SANJAY VISHWANATH KULKARNI

Age: About 56 Years, Occupation: Business

Residing at: 501, Shri Uma Co Op Housing Society, Taykal Wadi, Mahim, Mumbai - 400016.

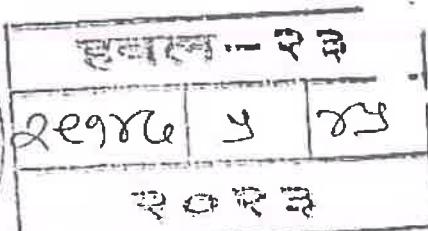
NARAYANA EDUCATIONAL TRUST

*Sign*  
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*Sign*

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(hereinafter referred to as "LESSOR" which term shall mean and include its legal representatives, successors, executors, attorneys, agents, assignees etc.,) of the one part.

**A N D**

M/s. NARAYANA EDUCATIONAL TRUST, (PAN AACTN 2045 G) a Charitable Trust, registered under the Bombay Public Trust Act, 1950, having its registered office at R.R. Inter College of Commerce, behind Shanti Ashram Bus Stop, Kalpana Chavla Marg, I.C. Colony, Boriwali (West) Mumbai-500008, represented by its Authorized Signatory Mr. SRINATH, S/o. late V. Sridhar Rao, resident of Hyderabad, (hereinafter referred to as "LESSEE" (which expression shall unless it be repugnant to the context or meaning thereof be deemed to mean and include the Trustees of the said Trust for the time being) of the other part;

The LESSOR and the LESSEE shall hereinafter collectively be referred to as the "Parties" and individually as a "Party".

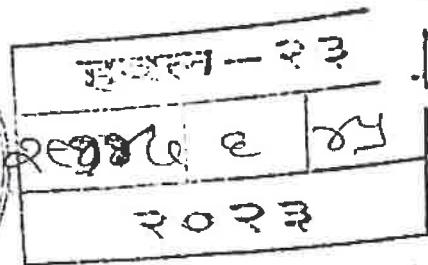
**WHEREAS:**

- A)** The Lessor is the lawful owner and possessor and otherwise well and sufficiently entitled to the premises land measuring 4390.39 Sq.mtrs, bearing Plot No.52, covered under Khasra No's.40/1/1/2, 40/1/2 to 6, situated at Undri Village, Haveli Taluka, Pune District, Maharashtra, (hereinafter referred to as the "Said Premises - Schedule -A"), having purchased the same through the Sale Deed dated 31.05.2023 registered as document No.13416/2023 in the office of the Joint Sub-Registar Class-3, Haveli-23. The Lessor has good right, full power and absolute authority and indefeasible title, to grant and assure the Said Premises and it is entitled to let-out the same.
- B)** The Lessee is an Educational Trust incorporated to establish and operate pre-schools, K-12 schools and junior colleges in India to impart elementary, primary, secondary, higher secondary and higher education and currently operates various such educational institutions in India.
- C)** The Lessor at the request of the Lessee, has agreed to give 25,000 Sq.ft., of built up area comprising Ground + Two floors building, to be constructing on the land mentioned above. The Lessor has agreed to provide the said constructed area for a monthly rent @ Rs.35/- (Thirty Five Rupees only) per Sq.ft., exclusive of applicable GST, the rent commencing from 01.03.2024, The rent will be calculated based on the actual built up area agreed to be provided for academic year 2024-2025. The lessee will have right to use the remaining open land in the Schedule Premises and will be used by the Lessee for playground and parking at free of rent. The Lessor has agreed to allow the Lessee to use and occupy the Schedule Premises on lease basis for the purpose of running its school namely 'Narayana E-Techno School" as per the norms of the memorandum of the Lessee, and more particularly described in the Schedule hereunder written (hereinafter referred to as "Schedule A/ Said Premises"). The leasehold land is delineated in red outline on the plan thereof attached hereto and marked in Schedule-B. The entire building constructed thereon together with other Facilities (as defined below) located thereon, details of which are set out in Schedule-C (collectively referred to as 'Schedule Premises').

*[Signature]*  
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**NARAYANA EDUCATIONAL TRUST**

*[Signature]*  
**SECRETARY**



D) The Lessor has agreed to give the Schedule Premises to the Lessee on lease and relying on the representations of the Lessor under this Deed, the Lessee has agreed to take the Schedule Premises from the Lessor on lease, on the terms and subject to the conditions mentioned herein below;

E) The Parties are now desirous of recording the terms agreed between them by executing this Deed for leasing of the Schedule Premises, in the manner hereinafter provided.

NOW THEREFORE THIS DEED WITNESSETH AS FOLLOWS:

1. DEFINITIONS AND INTERPRETATION

1.1 Definitions

For the purposes of this Deed, in addition to the terms defined in this Deed, unless repugnant to the meaning or context thereof, the following expressions, wherever used in this Deed, shall have the following meanings:

1.1.1 "Commencement Date" shall have the meaning set out in Clause 5.4;

1.1.2 "Schedule Premises" shall have the meaning given to in 'Schedule-B' of this Deed;

1.1.3 "Effective Date" shall mean the date of executing / signing of this lease deed;

1.1.4 "Encumbrances" shall mean and include any mortgage, lien, security interest, pledge, hypothecation, charge, claim, option, title defect, title retention, conditional sale, restriction of any nature whether consensual, statutory or otherwise etc., which has the effect of constituting a charge or security interest or other third party interest or a negative lien on the Demises Premises or any part thereof or which could affect the lease of the Schedule Premises or any part thereof, in any manner;

1.1.5 "Facilities" shall mean all the structures, faculties and utilities available at the Schedul Premises including parking spaces, playgrounds, swimming pools, tracks, staircases, lifts, library, laboratory, water fountains, toilets, staff quarters, dining halls, kitchens, etc. as are more particularly described in "Schedule C" of this Deed;

1.1.6 "Force Majeure Event" shall mean changes in Laws or regulations or any actions by Governmental Authority including any Governmental Authority taking or acquiring the Schedule Premises for any public or quasi-public use or purpose, at any time during the Lease Term, riots, fire, insurrection, war, civil disturbances, terrorist action, terrorist threat, tempest, flood, acts of god; and similar unforeseen circumstances affecting the region or the industry, which are beyond the control of any Party;

1.1.7 "Governmental Approval" shall mean any authorization, approval, consent, license or permit required from any Governmental Authority;

1.1.8 "Governmental Authority" shall mean and include any government authority, statutory authority, municipal corporation, government department, competent

NARAYANA EDUCATIONAL TRUST

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authority, agency, commission, board, tribunal or court or other regulation making entity having or purporting to have jurisdiction on behalf of, Republic of India or any state or other subdivision thereof or any municipal district or other subdivision thereof;

1.1.9 "Improvements" shall mean any additions, alterations, or improvements which may be made to the Schedule Premises after the Execution Date and shall include construction of buildings, structures, fixtures, plant and machinery, process lines, installation of heating, ventilation, air conditioning, mechanical, electrical, plumbing and other building systems; sewer, storm and waste water systems, parking facilities, fire protection, security and surveillance systems, telecommunications, computers, wiring and cable installations, sports facilities, lab facilities etc.;

1.1.10 "Law(s)" shall mean all applicable laws, by-laws, rules, regulations, ordinances, protocols, codes, guidelines, policies, notices, directions, judgments, decrees or other requirements or official directive of any Indian Government Authority;

1.1.11 "Lease Term" shall mean the period set out in Clause 3.1;

1.1.12 "Losses" shall include liabilities, damages, deficiencies, demands, (including third party claims), actions, judgments or causes of assessments, interest, penalties, claims, diminution in value, any other losses, other costs or expenses (including, without limitation, reasonable attorney and expenses);

1.1.13 "Notice of Termination" shall have the meaning given to in Clause 13.1.2;

1.1.14 "Person(s)" shall mean and include any individual, sole proprietor, unincorporated association, body corporate, corporation, company, partnership, limited liability company, joint venture, Governmental Authority, society or any other entity or organization;

1.1.15 "Property Taxes" shall have the meaning given to in Clause 10.1;

1.1.16 "Rent" shall have the meaning given to in Clause 4.1; and

1.1.17 "Security Deposit" shall have the meaning given to in Clause 6.1 & 6.2

## 1.2 Interpretation

In this Deed, unless the context otherwise requires:

1.2.1 words importing persons or parties shall include firms and corporations or organizations having legal capacity;

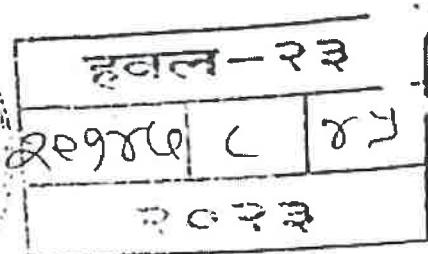
1.2.2 words importing the singular shall include the plural and vice versa within context so requires;

1.2.3 reference to any law shall include such law as is from time to time in force, amended, supplemented or re-enacted;

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Page 1

NARAYANA EDUCATIONAL TRUST

SECRETARY



- 1.2.4 reference to any gender shall include a reference to all other genders;
- 1.2.5 reference to the words "include" or "including" shall be construed without imitation;
- 1.2.6 The descriptive headings of Clauses are inserted solely for convenience of reference and are not intended as complete or accurate descriptions of the content thereof and shall not be used to interpret the provisions of this Deed;
- 1.2.7 The recitals, annexure, schedules and appendices (if any) form part of this Deed and shall have the same force and effect as if expressly set out in the body of this Deed, and any reference to this Deed shall include any recitals, schedules and appendices to it. Any references to Clauses and schedules are references to Clauses of and schedules to this Deed. Any references to parts or paragraphs are, unless otherwise stated, references to parts or paragraphs of the schedule in which the reference appears;
- 1.2.8 Any references to this Deed or any other document shall be construed as references to this Deed or that other document as amended, varied, novated, supplemented or replaced from time to time; and
- 1.2.9 Unless otherwise specified, time periods within or following which any payment is to be made or act is to be done shall be calculated by excluding the day on which the period commences and including the day on which the period ends.

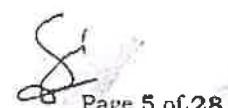
## 2. SCHEDULE PREMISES

In consideration of the Rent agreed herein and payable by the Lessee in the manner set out below, the Lessor hereby agreed by way of lease registration to the Lessee the Schedule Premises (which is more fully described in the schedule-B mentioned hereunder) on and from the Effective Date, for the Lease Term, in accordance with the terms and subject to the conditions mentioned herein.

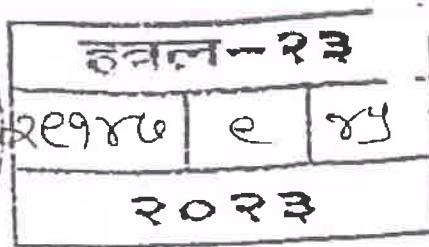
## 3. LEASE PERIOD

- 3.1 The term of the lease for the Schedule Premises granted under this Deed shall be Thirty (30) years, commencing from 01-01-2024 (i.e. as per the CBSE academic year plan) ('Lease Term') out of which initial Ten (10) years is lock-in period unless terminated earlier in accordance with the provisions of this Deed.
- 3.2 **Lease Expiry:** In normal circumstances the Lease Agreement will expire on 31<sup>st</sup> day of December, 2053.
- 3.3 Upon expiry of said lease agreement either on full maturity or otherwise after lock-in period with 6 months' notice from either parties, as mentioned in clause No.13.1.2 the Lessor will refund interest free deposit received against security on the last day of expiry/termination of the lease agreement and Lessee will hand over the possession of the premises in good condition. It will be responsibility of Lessee undertakes to rectify wear and tears 6 months prior to handover of the said premises to the Lessor. In case of failures to vacate the schedule premises upon expiry, the Lessee will be liable to pay the double of the prevailing rate of the rent. The Lessee also undertakes to clear all the utility bills before handing over of the scheduled premises.

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4.1. In consideration of the rights granted by the Lessor to the Lessee under this Lease Deed, the Lessee shall, on and from the Commencement Date as mentioned in Clause 5.4, pay the Lessor a monthly rent of Rs.35/- [Thirty Five Rupees only] exclusive of applicable GST as shown in the Table - A hereunder subject to deduction of TDS as per Income Tax laws, by way of RTGS/NEFT on or before 10th day of every English calendar month and the TDS certificate in Form - 16A of the IT Act will be issued once in a year. The Lessee's liability to pay rent to the Lessor will commence as detailed in the Table-A.

Table - A

Phase 5	Area (Sq.ft)	Rent (Per Sq.ft.)	Rental month	Occupatio n date	Fit-out period	Rent commencement date
1 <sup>st</sup> Phase	25,000	Rs.35/-	Rs.8,75,000/-	01-01-2024	60 days	01-03-2024

4.2. That the Lessee agrees to enhance the rent at the rate of 12% after completion of every three (3) years. The parties explicitly agreed that lessor will make further area of the premise from time to time as per requirement of the lessee at the then applicable rate of rent on the present part of the premise with presently existing terms and conditions with date of commencement of then available rent rate as on 1<sup>st</sup> March of that period.

4.3. The Rent may be paid by either cheque/demand draft favouring the Lessor or by way of wire transfer RTGS/NEFT to the designated bank account of the Lessor.

**5. RENT FREE FIT-OUT PERIOD**

5.1. The Lessor shall undertake and complete the fit-out works (Fit-Out Works) within Sixty (60) days for each phases of the Execution Date, unless such period is extended by the Lessee in its sole discretion and the Lessor shall submit written completion confirmation from the architect/contractor in this regard to the Lessee.

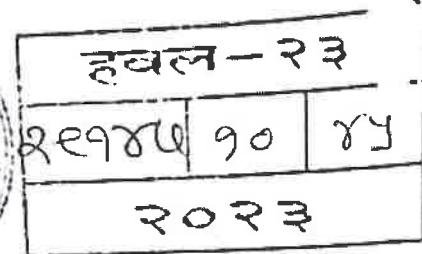
5.2. The Lessor shall abide by the specified schedule for completion of the Fit-Out Works. The Lessee shall be entitled to monitor progress of completion of the Fit-Out Works from time to time to determine whether the work is being undertaken on schedule. If the Lessee believes there is a delay in completion of the Fit-Out Works as a result of which the Lessor will not be able to complete the Fit-Out Works within the period mentioned above, Lessee shall be entitled to do it on its own cost and recover the same from the rental payables.

5.3. In the event the Fit-Out Works are not completed to the satisfaction of the Lessor and the Lessee chooses not to terminate the Deed as per Clause 5.2 above, then the Lessee shall be free to choose to take possession of the Schedule Premises and complete the remaining Fit-Out Works by itself and in such case the Lessee shall be entitled to set-off and deduct the costs and expenses incurred by the Lessee in completing the Fit-Out Works from the Rent payable to the Lessor.

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5.4. The Parties agree and acknowledge notwithstanding anything to the contrary contained in this Deed, the Lessee shall be liable to commence payment of the Rent and all other amounts relating to the Schedule Premises, only on and from date of completion of all the Fit-Out Works by the Lessor to the satisfaction of the Lessee i. e. 1<sup>st</sup> March 2024. Provided however in the event of a delay in completion of the Fit-Out Works affecting the commencement schedule of the proposed educational institution at the Schedule Premises, then the Lessee's obligation to pay Rent shall commence for the CBSE Academic year plan 2024-2025. It is also mutually agreed that whenever there would be requirement for additional area the date of handover of the then required area of the premises would commence from 1<sup>st</sup> march of that year and for the mutually agreed period from time to time under lease agreement to be registered then for that area.

#### 6. SECURITY DEPOSIT AND RENTAL ADVANCE

6.1. The Lessee agrees to deposit a interest free security deposit with the Lessor, an amount of **Rs.2,10,00,000/- (Rupees Two Crores Ten Lakhs only)** but to be paid in phase wise manner as under

- i) Phase-I - Rs.1,26,00,000/- Before beginning of 2024-25 Academic year
- ii) Phase-II - Rs.42,00,000/- Before beginning of 2025-26 Academic year
- iii) Phase-III - Rs.42,00,000/- Before beginning of 2026-27 Academic year

6.2. It is also mutually agreed that the lessee will pay rental advance at par with the interest free security deposit and this advance and security deposit will be credited to the account of Lessor. The rental advance is given only as a financial help to the Lessor in order to share the financial burden of Lessor and the funds shall be strictly utilized for construction activity only. The Lessee shall have the right to adjust/deduct rental advance amount from initial twelve months rent payable, to the extent of differential built up area in SFT that may find in the Joint Measurement Report after construction.

#### 6.3. MODE OF REPAYMENT/ADJUSTMENT:

a) Out of the total deposit, an amount of **Rs.1,05,00,000/- (Rupees One Crore and Five Lakhs only)** which will be treated as an advance and will be adjusted in 24 months rents equally from commencement of the lease period (i.e. Phase -I advance from 01-03-2024, Phase -II advance from 01-03-2025 & Phase -III advance from 01-03-2026).

b) Remaining amount of **Rs.1,05,00,000/- (Rupees One Crore and Five Lakhs only)** which will be treated as an interest free refundable security deposit and will be adjusted in monthly rents before termination of the lease period.

6.4. The Lessee shall hand over the Schedule Premises on the day of expiry of this Deed or earlier termination as the case may be, simultaneously against the Lessor refunding the entire amount of the Security Deposit to the Lessee. In case, the Lessor fails to refund the same, the Lessor shall be liable to pay interest thereon calculated at the rate of 18% per annum to the Lessee. Further, the Lessee shall also have the right to continue to use and occupy the Schedule Premises without being liable to pay any Rent or other charges in respect of the Schedule Premises to the Lessor or any governmental body or authority, till receipt by the Lessee of the entire amount of the Security Deposit with interest thereon calculated at the

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rate of 18% per annum for the period commencing from the due date of refund of the Security Deposit till the date of payment thereof to the Lessee. In case Lessee has not refunded the security deposit and still the Lessee fails to vacate the scheduled premises then Lessee will be liable to pay penalty rate of double the rent applicable at the point of time from the date of vacation or eviction whatsoever in the case.

#### 7. SIGNAGE

The Lessee shall have the right to use, affix, display or exhibit any name plates, any writings or any sign boards, sky signs, neon signs or advertisements, with or without illumination or otherwise, on or from the Schedule Premises, subject to local Laws, the absolute ownership of which shall remain that of the Lessee, free and clear of any claim by the Lessor. The Lessee shall bear the cost of installing any such signage on the Schedule Premises. For avoidance of any doubt, it is clarified that the Lessor shall not charge any rent or any amount whatsoever from the Lessee for putting up or installing any signage pursuant to this Clause except any charges as imposed by any Governmental Authority for affixing or exhibiting of such signage. However, Lessee is not permitted to do commercial exploitation of such advertisements.

#### 8. RIGHTS AND DUTIES OF THE LESSEE

- 8.1. The Lessee shall pay the rent in the manner stated herein or as mutually agreed between the Parties and duly recorded in writing.
- 8.2. The Lessee shall bear and pay electricity and water bills etc. in respect of Schedule Premises for the Lease Term as per the meter readings and bills issued by the relevant Governmental Authorities. However it is mutually agreed that the property tax on the Schedule Premises the Lessee shall re-imburse such municipal tax, to a maximum of Rs.5/- per sq. ft, irrespective of its actual rate of imposition and the remaining charges/taxes if any shall be borne by the Lessor. It shall be responsibility of lessor to to first pay the tax and produce the copy of a payment receipt for claiming the re-imbursement.
- 8.3. That the Lessee shall undertake the maintenance of 5 HP submersible motor electrical pump set provided in the tenant's premises.
- 8.4. The Lessee shall not use the Schedule Premises for any purpose that is prohibited under Law.
- 8.5. The Lessee shall be entitled to make certain Improvements to the Schedule Premises which does not include addition and alteration in the basic structure of the premises, to suit its requirements, from time to time. The Improvements to the Schedule Premises shall be as per the applicable Laws.
- 8.6. The Lessee on completion of the lease duration or early determination thereof or on completion of the extended lease duration, the schedule premises will be handed over to the Lessor with a normal depreciation that is subjected usually and tear that occurs as a result of using the leased premises is acceptable.

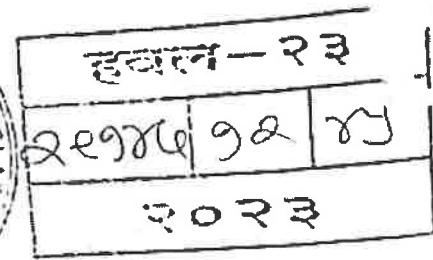
#### 9. COVENANTS OF THE LESSOR

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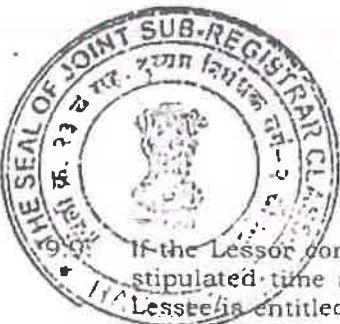
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The Lessor hereby make the following covenants to the Lessee:

- 9.1. The Lessor shall not seek to sell or transfer or alienate its rights in the Schedule Premises as a whole or in any part or parts thereof or create any Encumbrance whatsoever on the Schedule Premises during the lease term without the prior written intimation of the Lessee. Provided that Lessor will not create third party interest in the said premises unless the new incumbent agrees to continue the lease agreement for remaining period.
- 9.2. That the building should be constructed in accordance with Chapter 3 (Land Requirement) and Chapter 4 (Physical Infrastructure) of CBSE Affiliation Bye-Laws, 2018. Also, ensure compliance with following:
  - a) Guidelines issued by Hon'ble Supreme Court in Writ Petition (Civil) No. 483 of 2004 in the matter of Avinash Mehrotra (Petitioner) Versus Union of India & Others.
  - b) School Safety Policy, 2016.
  - c) Manual on Safety and Security of Children in Schools.
- 9.3. The Lessor shall promptly defend at its cost, any actions or claims brought in respect of the Schedule Premises by any third party on account of any legal defect in the title of the Lessor, and keep the Lessee indemnified against the same.
- 9.4. The Lessor shall provide prompt notice to the Lessee of all future communications, notices and inspections, if any, received from any Governmental Authority or any other person in respect of the Schedule Premises including any claim, litigation, proceeding or investigation which becomes known to the Lessor at any time during the Lease Term.
- 9.5. The Lessor shall raise no objections for the Lessee undertaking any educational activities from the Schedule Premises or entering into any third party agreements for the purpose of undertaking any educational activity from the Schedule Premises.
- 9.6. The Lessor confirms and agree that the Lessee shall be entitled to make Improvements, at its own cost, to the Schedule Premises and renovate the Facilities available to the Schedule Premises, from time to time, as may be necessary or required by the Lessee for the proposed activities of the educational institution, without requirement of seeking the prior approval of the Lessor in that regard.
- 9.7. The Lessor shall acknowledge and give valid receipts for each and every payment made by the Lessee to the Lessor or to its order and such receipts, duly stamped and signed by the Lessor or its duly authorized agent, shall be conclusive proof of such payments.
- 9.8. The Lessor shall ensure that an entrance and passage of suitable width is provided to the Lessee for ingress and egress from the Schedule Premises connecting the Schedule Premises to the public road, without causing any hindrance or obstructing the free movement. The entrance and passage so provided shall be for the exclusive use by the Lessee, its employees, visitors, students, staff, agents and contractors.



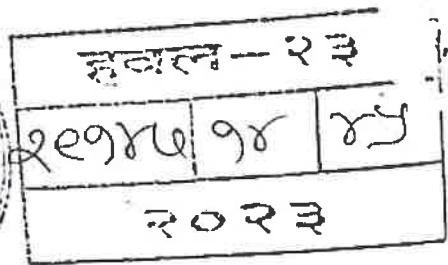
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If the Lessor construction of the building or handing over of the same is behind stipulated time as agreed under this Lease Deed as per clause No.3.1, then the Lessee is entitled to claim interest from the Lessor on the amount paid at the rate of 18% per annum on the amount deposited till the actual possession is handed over and the Lessee shall have exclusive right to cancel the proposal beside claiming damages for the actual loss occurred due to nonfulfillment of Lessor's obligations.

- 9.10. The Lessor shall be responsible for undertaking all the major repairs and renovations in respect of the Schedule Premises including colouring/painting etc. issues with seepages, leakages, construction quality related issue, etc. and shall undertake all actions once in four years to maintain the Schedule Premises in a good state, at Lessor's own cost. In the event the Lessor fails to undertake any such repairs/renovations, then the Lessee shall be entitled to undertake the same by itself with an intimation to the Lessor. In such case, the cost incurred by the Lessee shall be reimbursed by the Lessor and the Lessee shall be entitled to set-off and deduct such cost from the Rent payable for subsequent months.
- 9.11. The Lessor shall, for the Lease Term, ensure electrical power connection of 20 KVA with high tension connection, separate electrical transformer (installed by the Lessor at the time of occupation), sufficient and continuous municipal drinking water supply, drainage connections and fire extinguishers and fire safety equipment for the Schedule Premises, at the Lessor's own cost. All the necessary electrical deposits shall be borne by the Lessor. In the event any costs relating to any of the aforesaid have to be borne by the Lessee, such costs shall be reimbursed by the Lessor and the Lessee shall be entitled to set-off and deduct such cost from the Rent payable for subsequent months.
- 9.12. During the subsistence of the lease and the renewed term, the Lessor shall ensure that the schedule premises shall have water supply to the schedule premises at all times. That the Lessor shall provide the supply of required drinking / utility water through municipal connection and bore wells. The required bore wells with 5 HP submersible motors should be provided by the Lessor.
- 9.13. The Lessor agrees to provide electrical wiring, for the entire building including all the rooms, bath rooms, passages, corridors, staircase, cellar and terrace. And should provide telecom, internet cable wiring to all the rooms. The Lessor should provide good quality switch and plug socket boards with safety measures for children, as per the requirement and requisition of the Lessee.
- 9.14. That the Lessor agrees to provide all rooms and corridors with vitrified tiles flooring and bath room flooring with antiskid and wall with glazed ceramic tiles up to 4 feet. The staircases to be finished with polished Granite or Kotha stone. The doors and window frames shall be provided by the Lessor. The laminated flush doors and UPVC windows with mosquito mesh and ventilators with exhaust provision shall be provided by the Lessor. Total building should be finished with double coat cement plastering and further interiors to be finished by wall car putty and painting and exterior with texture, putty or smooth plastered wall with exterior grade paint as per the request of the Lessee has to be completed by the Lessor.
- 9.15. The Lessor agrees to provide water supply and sanitary connections, bathroom fittings, Sanitary ware, W.C., urinals, wash basins, mirrors, bathroom accessories.

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taps, showers, etc.. and sanitary plumbing, sanitary and bathroom accessories and materials of reputed brands.

- 9.16. The Lessor agreed that they shall not install towers such as Cell phone & TV etc., on the terrace of the building or in the school premises.
- 9.17. The Lessor agrees to provide a compound wall of 8 feet height around the buildings with the gates erected at the required areas.
- 9.18. The Lessor agreed to build the staircases from both sides of the building.
- 9.19. The Lessor shall provide adequate rent free parking area as a part of the Schedule Premises as per the details set out in Schedule C.
- 9.20. The Lessor shall provide drainage line, waste water treatment plant/septic tank of required capacity at the Schedule Premises, so that the drainage water can be diverted to nearby drain without any complications for the adjoining premises or Governmental Authorities.

#### 10. DUTIES AND TAXES

- 10.1. The Lessor shall be responsible for payment of all past, present and future municipal taxes including property tax as mentioned in 8.2, income tax and other taxes, assessments, cess and other charges and all outgoings (collectively referred to as "Property Taxes") imposed or levied upon or in respect of the Schedule Premises at all times and the Lessee shall have no liability whatsoever in this regard. The Lessor hereby agrees to keep the Lessee indemnified at all the times with respect to the Property Taxes. Further, the Lessor shall be solely responsible for all property tax assessments. In case during the Lease Term, any future Property Taxes are imposed on the Schedule Premises, the same shall also be solely borne by the Lessor.
- 10.2. In the event Lessee is required to pay or bear any present or future Property Taxes due to the default of the Lessor to pay the same, and the Lessor fail to promptly reimburse the same to the Lessee, the Lessee shall be entitled to adjust the same against the Rent payable to the Lessor.
- 10.3. The Lessor shall provide a copy of GST registration certificate to the Lessee for its office records. The monthly rent along with GST will be paid by the lessee to the Lessor, subject to submission of the original GST invoice duly signed by the Lessor every month on or before 25<sup>th</sup> day of calendar month along with a copy of proof of GST return filed for the preceding month/ period viz., both GSTR-1 and GSTR-3B.
- 10.4. The Lessor is not entitled to claim or demand for the payment of GST arrears without submission of proper invoice on monthly basis.

#### 11. REPRESENTATIONS AND WARRANTIES

- 11.1. Each Party represents and warrants to the other Party that:

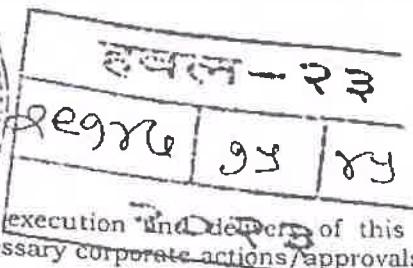
11.1.1. It/he has the power and authority to execute and deliver this Deed and upon execution and delivery of the same, it shall be a legal, valid and binding obligation of the said Party enforceable in accordance with its terms.

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D. V. K. S.

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11.1.2. The execution and delivery of this Deed has been duly authorised by necessary corporate actions/approvals, where applicable; and

11.1.3. The execution and performance of this Deed by such Party does not violate any applicable Law or violate or contravene the provisions of or constitute a default under any of its constitutional documents or any documents, contracts, agreements or other instruments to which it is a party or which is applicable to it.

11.2. The Lessor hereby make the following representations and warranties, each of which is deemed to be material and each of which is stated by the Lessor as being true and correct on the date hereof and shall continue to be true and correct during the Lease Term:

11.2.1.1. The Lessor has valid, clear and marketable title to the Schedule Premises and that the Lessor is duly entitled to lease the Schedule Premises and grant the rights in relation thereto unto the Lessee in the manner provided in this Deed;

11.2.1.2. The Lessor has not received any notice from any Government Authorities having jurisdiction over or affecting the Schedule Premises in respect of the Schedule Premises;

11.2.1.3. The Schedule Premises can be used by the Lessee for the purpose for which it is being leased as per this Deed;

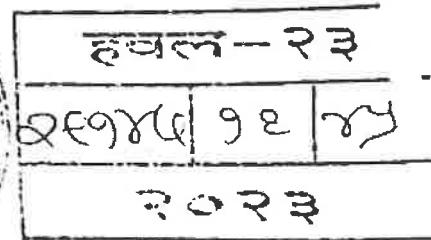
11.2.1.4. The Schedule Premises is free from all Encumbrances;

11.2.2. There is presently no *lis pendens*, claim, attachment, action, litigation, arbitration, demand, acquisition, reservation, prohibitory order, *seize-ban*, garnishee or other proceeding pending against the Lessor and relating to the Schedule Premises or the transactions contemplated hereby;

11.2.3. There are no leases or other agreements permitting usage/occupancy of the Schedule Premises, nor has the Lessor entered into any course of conduct which would permit any Person a right to occupy any portion of the Schedule Premises or otherwise affecting the Schedule Premises or any part thereof;

11.2.4. The Lessor has, in respect of the Schedule Premises and the structures thereon, obtained the approved building plan, construction permission, sanitary certificate, structural soundness certificate, pipe linings for fire safety equipment installation, fire safety certificate, municipal occupancy certificate and other municipal departments(s) etc., as per the requirement of the Lessee for obtaining recognition/registration of the proposed educational institution, at the Lessor's own cost.

11.2.5. The Lessor has made no commitment to any third party, governmental or quasi-governmental entity or other Person, which commitment relates to the Schedule Premises or imposes upon the Lessor or the successors or assigns of the Lessor any obligation to pay or contribute property or money or to construct, install or maintain any improvements on or off the Schedule



Premises or which could affect the ability of the Lessee to use and occupy the Schedule Premises in the manner provided in this Deed; and

## 12. INDEMNITY

Each Party ("Indemnifying Party") hereby indemnifies and agrees to indemnify, defend and hold harmless, the other Party, its directors, officers, employees and agents ("Indemnified Party") from and against any and all Losses incurred or suffered by the other Party directly or indirectly arising out of (i) inaccuracy in or breach of any representation and/or warranty of the Indemnifying Party contained in this Deed; (ii) breach of any of the covenants of the Indemnifying Party under this Deed.

## 13. TERMINATION AND CONSEQUENCES

### 13.1. Termination by the Lessee:

13.1.1. The Lessee, in its absolute discretion, shall have a right to terminate this Deed if:

13.1.1.1. the Lessor is in breach of its representations, warranties, undertakings or covenants under this Deed, and has failed to remedy such breach within Forty Five (45) days of receipt by the Lessor of a written notice of demand by the Lessee to do so; or

13.1.1.2. due to delay in completion of the Fit-Out Works as per Clause 5.2; or

13.1.1.3. the Lessee being unable to obtain any Governmental Approval or recognition or affiliation for the proposed educational institution from the concerned Governmental Authority, departments or education boards on account of the Lessor's failing to provide any certificates or documents or Governmental Approvals required to be obtained by the Lessor in respect of the Schedule Premises or otherwise as per the terms hereof; or

13.1.2. The Lessee shall be entitled to terminate the Deed, with the valid reason, anytime during the lease period by providing at least Six (6) month's, or completion of academic year whichever is later to the Lessor, prior notice in writing but only after completion of initial lock-in period of Ten (10) years.,

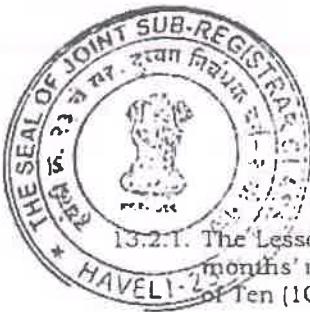
13.1.3. Upon the termination of this Deed by the Lessee, for any reason as stipulated herein:

13.1.3.1. The Lessee shall be entitled to (but have no obligation to) remove all its Improvements and belongings therefrom, including, any fixed assets, equipment, furniture, furnishings, wiring, interiors, fixtures, fittings, etc. then existing;

13.1.3.2. The Lessor shall refund to the Lessee any other amounts payable by the Lessor as on the effective date of termination.

### 13.2. Termination by the Lessor:

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13.2.1. The Lessor intends to evict the Lessee from the premises, it can do so by giving months' notice in writing in advance only after completion of initial lock-in period of Ten (10) years without disturbing the academic year.

#### 14. NOTICES

14.1. Any/all notices ('Notice') shall be written in English and shall be delivered by hand delivery or courier or prepaid registered post with acknowledgement due, to the addresses mentioned above to whom such Notices are being given.

#### 15. REGISTRATION AND STAMP DUTY

15.1. The Lessor and the Lessee shall bear and pay the cost of stamp duty and registration charges on this Deed in equal shares (i.e. 50% Lessor and 50% Lessee). The Lessor shall facilitate for the process of registration of this Deed.

15.2. The original stamped copy of the Deed shall be kept with the Lessee and notarised photocopy of the Deed shall be handed over to the Lessor.

15.3. Each Party shall bear its own legal costs and professional fee of their respective counsel.

#### 16. GOVERNING LAW

16.1. This Deed shall be governed and construed in accordance with the Laws of India. Subject to the provisions of Clause 17 below, the Parties agree to submit to the exclusive jurisdiction of the courts of Jhunjhunu jurisdiction in connection with any dispute arising out of or in connection with this Agreement.

#### 17. DISPUTE RESOLUTION, GOVERNING LAW, JURISDICTION OF COURT

17.1. If any dispute arises out of or relating to this Deed between any of the Parties hereto ('Disputing Parties'), during the subsistence of this Deed or thereafter, connection with the validity, interpretation, implementation or alleged breach of any provision of this Deed or regarding any question, including the question as to whether the termination of this Deed by any Disputing Party hereto has been legitimate ('Dispute'), the Disputing Parties hereto shall endeavour to settle such Dispute amicably. The attempt to bring about an amicable settlement is considered to have failed as soon as one of the Disputing Parties, after reasonable attempts, which attempt shall continue for not less than 30 (thirty) days, gives notice recording such failure to the other Disputing Party, in writing and in resort to civil court having jurisdiction to the leased premises.

#### 18. ENTIRETY

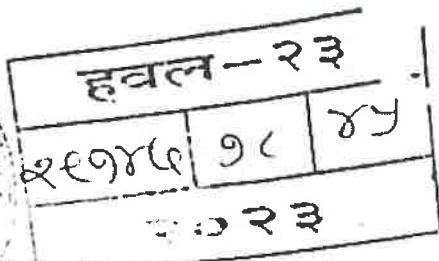
This Deed contains all of the terms and conditions agreed by and between the Parties hereto with respect to the lease of the Schedule Premises under reference and no prior agreements or understandings pertaining to any such matters shall be effective for any purpose.

#### 19. WAIVER AND SEVERABILITY

NARAYANA EDUCATIONAL TRUST

  
Mr.  
SECRETARY

  
Mr.  
BALAJI



19.1. Any provision of this Deed which shall be held invalid, void or illegal shall be deemed severable and in no way affect, impair or invalidate any of the other provisions hereof and such other provisions shall remain in full force and effect.

19.2. Failure of either Party to enforce at any time or for any period of time the provisions hereof shall not be construed to be waiver of any provisions or of the right thereafter to enforce each and every provisions hereof.

#### 20. SPECIFIC PERFORMANCE

To the extent permitted by law, the rights and obligations of the Parties under this Deed shall be subject to the right of specific performance and may be specifically enforced against a defaulting Party.

#### 21. AMENDMENTS

The option of adding or amending certain clauses in the Lease Deed is permissible with mutual consent of the both the parties.

#### SCHEDULE -A DESCRIPTION OF SCHEDULE PREMISES

All that the part and parcel of the proposed premises admeasuring 25,000 Sq.ft. of built up area consisting Ground + Two floors building to be constructing on the land admeasuring 4390.39 Sq.mtrs. bearing Plot No.52, covered under Survey Number 40/1/1/2/40/1/2 to 6/Plot No/52, situated at Undri Village, Havell Taluka, Pune District, Maharashtra is bounded as follows:

North by : Internal 12 Mtrs Road  
South by : Tanishq 1 & Sy.No.40/1/2  
East by : Open Space  
West by : 18 Mtrs Main Road

#### SCHEDULE -B

All that the part and parcel of the proposed premises admeasuring 25,000 Sq.ft of built up area consisting Ground + Two floors building to be constructing on the land.

**WITNESS WHEREOF** the Parties hereto have executed this Deed the day and year first herein above written.

		<p><b>SIGNED AND DELIVERED BY THE WITHIN NAMED 'LESSOR' MIND AND NATURE ASSOCIATES Through Its Authorized Partners; MIND AND NATURE CONCEPTS LLP represented through the designated partner MS. NIKITA RATANLAL DAGDIYA</b></p> <p>Sign.....</p>
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**NARAYANA EDUCATIONAL TRUST**

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**SECRETARY**



MR. BABASAHEB BHAGWAN ATKIRE

Sign.....

MR. SATISH KISANLAL SONI

Sign.....

MR. SAHIL RAJESH DAGDIYA

Sign.....

MR. SANJAY VISHWANATH KULKARNI

Sign.....

Sign.....

SIGNED AND DELIVERED BY THE  
WITHIN NAMED "LESSEE"  
NARAYANA EDUCATIONAL TRUST

MR. V. SRINATH  
AUTHORIZED SIGNATORY

Sign.....

WITNESS NO. 01:

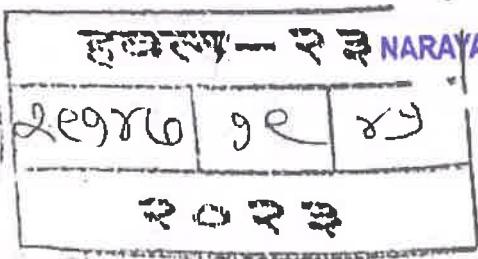
Sign /

Mr. Paresh Malire  
R/at: Parule mulabai

WITNESS NO. 02:

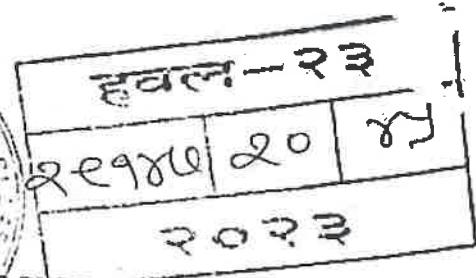
Sign /

Mr. S. Rama Mohan Reddy  
R/at: Nagpury



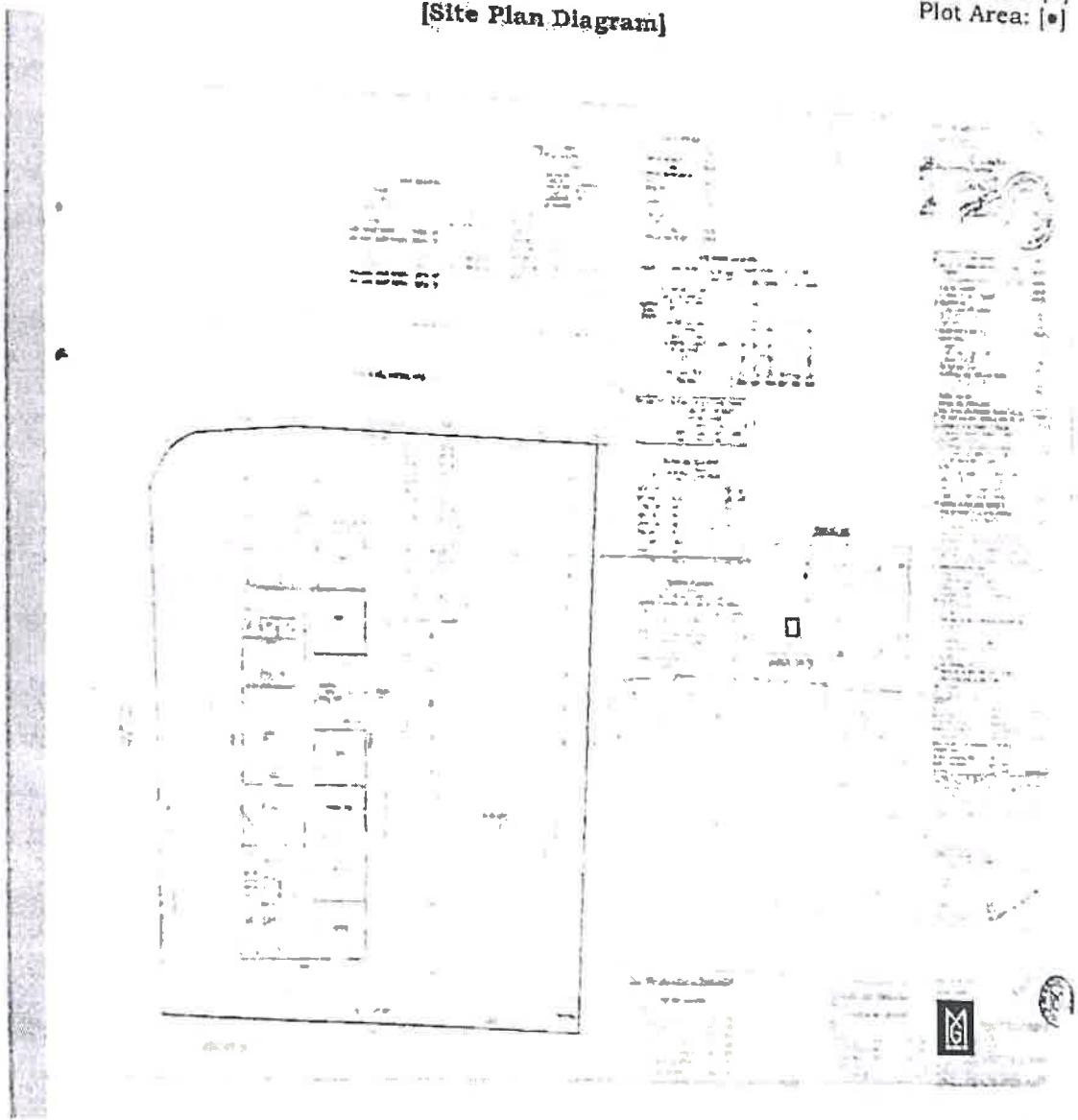
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[Site Plan Diagram]

SCALE: [•]  
Plot Area: [•]





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SCHEDULE - C		

#### DESCRIPTION OF BUILDING, FACILITIES AND UTILITIES SITE

- The access road for site and buildings not less than 40' (preferably B.T or C.C) and internal circulation pathways and roads to be defined with curbstone and paving finish (B.T, interlocking pavers or C.C roads, etc.) with rainwater drain provision.
- A sturdy Compound wall of height 8' (minimum) with 2'-6" height barbed wire fencing cleanly finished and painted.
- Entrance gate of Minimum 18' Feet wide for vehicle movement and 5' Feet wide gate with security room for two people seating with electrical and intercom facility. Toilet provision to be made separately.
- Yard lights with led fixtures all around the building and site for visibility and security at night.
- Building plinth protection of 3' Feet wide & 4" inch thick with outward sloping around the lower building than the plinth level. It would be better if the plant boxes and landscape is avoided touching the building.
- The setbacks around the building to be paved, Concreted or leveled properly with no obstructions for vehicular movement and proper drains to be provided for rainwater. Vacant Land within the Compound should be properly leveled and rainwater drainage provisions to be made.
- Transformer yard, Bore wells, power panels, U.G sump, septic tank, etc. are to be guarded and secured with proper fencing & locking system.
- Rainwater harvesting pits & overflow drain to be provided as per the requirements.
- Drains, inspection chambers, earth pits and manholes to be provided with proper covers for easy maintenance.
- Septic tank and Permanent sewerage line for the exit of wastewater from the site to the nearest naala or main sewer line of the locality to be provided as per the occupancy load. In the absence of the above, Sewage treatment plants to be designed as per the occupancy load and recycled water to be used for flushing system, gardening, and groundwater recharge.
- A good ventilation for Diesel generator shed to be provided with proper movement space around D.G with a sturdy base, roof, side walls & grills with a door for easy access & security.
- Landscaping with a plantation of trees along the compound wall, plant box to be provided with a plants all along the compound wall as required.

#### BUILDING

- The structure has to be designed as per the required utility.
- The RCC frame structure executed at the site should be as per the approved structural drawing and specifications from a reputed firm (depth of reinforcement, grade of concrete, clear cover etc.,)
- Minimum clear height from slab to slab should not less than 11 (minimum) feet
- Proper compaction of soil to be done at the plinth level and any other soft soil areas.
- Minimum height of the plinth level to be 2' Feet or as required so that the proper slope for drainage system can be achieved.
- All exterior walls of the building should be (minimum) 9 inches thick or above with cement plaster & finished with External Texture paint with weatherproof paint.
- All internal walls should be (minimum) 4.5 inches thick or above properly finished with cement plaster. If the walls are (minimum) 4.5 to 6inch thick there should be RCC bands or stiffeners of 3inch thick at every 3 feet height. Walls must be.



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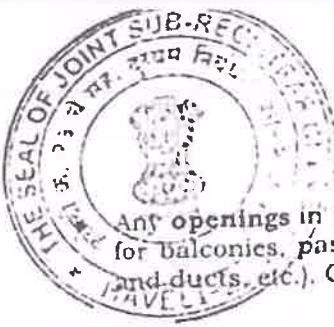
finished with wall care putty up to a 4' feet height of enamel paint and above the wall is to be finished with wall care putty 2 coats of primer emulsion paint. Paint color will be finalized by Lessee.

- All RCC members to be hacked as required before plastering.
- All joints between masonry and RCC members along with electrical, plumbing and any chiseled grooves with pipes to be packed with a rich mortar and chicken mesh and finally plastered.
- Proper curing for the required number of days to be done for each stage of concrete work.
- **Doors for classrooms** must be 4' wide and height 7'-0" Feet and above with a frame cross-section of size 3"x4" Feet with a minimum of three holdfasts on either side, the frame must be inserted into a masonry of 8" Feet thick and above with proper packing of holdfasts, the frame to be treated with anti-termite chemicals and bituminous paint as required. **Laminated Flush Doors** of the branded company with proper hardware and finish to be fixed which are sturdy and durable.
- **Doors for toilets** must be 2'-6" / 2'-9" Feet width and height 6'-9" Feet and above with Wooden frame cross-section of size 2.5"x4" inch with a minimum of three holdfasts on either side, the frame must be inserted into a masonry of 4.5" Feet thick and above with proper packing of holdfasts, the frame to be treated with anti-termite chemicals and bituminous paint as required. **Laminated Flush Doors** or WPC doors Resistant to water of branded company with proper hardware and finish to be fixed which are sturdy and durable.
- Powder coated **Aluminum windows** with proper locking and sliding system with the provision for a mosquito net and the thickness of the cross section of the frame not less than 1.5mm thick/ UPVC sliding windows of the reputed company with mosquito net and drain provision. All Windows to be provided with grills which are sturdy and easy for maintenance.
- **Ventilators for toilets** are to be of the desired size with louvers and exhaust fan provisions.
- **Corridors** which are lengthy having no direct ventilation other than the ends provision to be made from the rooms by ventilator or window.
- All **access points** into the building to be provided with secured doors, steps, canopies, and sunshades.
- **Windows** to be protected by proper sunshades or any sort of elevation treatment to protect from sun and rain.
- All **balconies** passages and **corridors** where the possibility of flooding in the rainy season to be waterproofed and drain system to be provided.
- **Open courtyards, ventilation shafts, and ducts** to be provided with an appropriate flooring finish and drain system at the ground level and if covered on the upper levels the purpose has to be served. Corridors width is 8' feet to 10' feet minimum.
- **Provision for access** to be made for any space which is inaccessible (staircase headroom, overhead water tank, U.G sump, ducts etc... for maintenance).
- **Terraces** to be waterproofed with provision for rainwater pipes with gratings. Terrace surface to be free from any pipelines, cables, etc... obstructing the water flow to the drain point.
- **Sewer lines and wastewater lines** to be segregated from each outlet and connected as per the disposal system. Connecting of all floor pipes to slope pipe should be min 8 inc dia. **External Pipe** Min 1 feet dia to provide for connecting Septic tank with Man holes at every 20 feet distance.
- All **pipes** vertically placed to be properly clamped with the necessary fixtures which are sturdy and easy for maintenance.

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Any openings in the building for the ~~security~~ of the students to be addressed for balconies, passages with single side rooms, openings provided into courtyards (and ducts, etc.). Grills for windows to be provided.

### INTERIORS

- **Flooring and skirting** for rooms and corridors, including lobbies to be finished with vitrified tiles of desired size and reputed make or with polished granite, kotha or marble stone of desired thickness cleanly polished with proper joints and levels with no cracks and damages. Any of the above floorings laid to be durable and aesthetically good.
- **Common Toilets and Bathrooms** and any areas exposed to water to be waterproofed with a base coat with a concrete strip of 3" or 4" thick all around below the wall with a slope towards a point and spout provided at that point and final waterproofing course after fixing of nanitraps, wastewater lines and sewage lines. Waterproofing coating to be an extended minimum of 1' height onto the surface of the final finishing level. Walls to be cladded with ceramic Glazed tiles up to a height of 7' Feet and above wall is to be finished with wall care putty & 2 coats of enamel paint. Flooring with anti-skid tiles with desired slopes and wall cladding with glossy tiles easy for maintenance. Tile to be finished with epoxy grout with proper finish at nanitraps and joints, any dampness found at any stage of work to be rectified and waterproofing should be guaranteed for at least two years.
- **Walls to be finished** with wall care putty, primer and two coats paint to desired smooth finish. Ceilings to be finished with primer and two coats of paint. Cracks, patchworks etc. To be finished before the final coat of paint.
- **Laminated flush Doors/doors and door frames** to be smoothly finished with primer, putty and two Coats of enamel. Colors matching the wall or door as desired.
- **The exterior of the building to be finished** with texture/putty with apex/ Ultima grade paint of specified colors free from maintenance.

### REQUIREMENTS

- **Overhead water tank** to be RCC or as desired free from leakages, seepages and dampness etc. with inspection cover easily for maintenance having provisions for cleaning. The base of the tank should not be placed directly above the slab of terrace. The capacity to be not less than 45lts/day/occupant for day campuses.
- Along with the **overhead water tank provision** to be made even for a fire fighting tank of required capacity as per the approved plan.
- **UG sump** to be provided at the ground level with a capacity of 50% that of overhead tank as per the groundwater availability. **UG sump** with 5 inch Motor 3/4 inch CPVC Pipe line.
- **All inlets and outlets** of the tank including the overflow pipe, to be clamped to vertical surfaces and elevated from horizontal surfaces.
- **R.O plant provision** to be made on a terrace for a given size of the room as specified, with a drinking water tank capacity of 5lts/occupant/day.
- **Drinking water provision** from R.O plant to be made on all floors of the building where ever necessary with power points and drain provisions for the water dispensers. 1 tap for 50 students.
- **Hot water provisions** to be made for all bathrooms from a centralized unit from terrace or as desired. Any external points provided other than in the bathrooms should have a proper enclosure with drain provision.
- Day schools Urinals in common toilets for boys 1 for 20 students wash basins 1 for 60 students and W.C 1 for 40 students and for girls WC and urinals 1 for 25

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students and wash basins 1 for 10 students. Girls and boys toilet to be separated from each other. All Urinals / ~~Wash basin~~ be of reputed brands and approval from Lessee to be obtained prior to installation.

- For schools Provisions of **staircases and doorways** are as per the firefighting norms. (Minimum of 2 staircases of width 1.5mts with a maximum accessible distance of 30 mts, fire Hydrants, fire extinguishers, etc...)
- Playground area** to be considered based on below criteria
  - 250 sq. mtr of area + 1 sq.mtr. For every student on the rolls (for a middle school).
  - 500 sq.mtr of area +1 sq.mtr. For every student on the rolls (for a Secondary school).
  - 750 sq.mtr of area +1 sq.mtr. For every student on the rolls (for a Senior Secondary school).
  - Play areas to be elevated higher than general ground level with Base preparation as per requirements and proper drain provisions to be provided.
- Play court** must be well treated and maintained with drain lines.
- Minimum 8% TO 10 % of **Ventilation** is required per Room based on total floor area of rooms.
- In case of new schools, the front boundary wall shall be recessed by 6 mt. to accommodate visitors **Parking** within setback area.
- Cable Trays or Cable trenches** to be provided as per required for easy maintenance and non-hazardous.

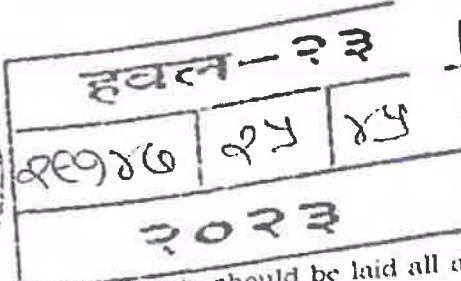
#### PLAY FIELD

- Preparation and consolidation of sub grade (thickness of 250 mm) with power road roller of 8 to 12 tonne capacity after Filling earth , dressing to camber and consolidating with road roller including making good the undulations etc.
- Supply and laying hard stone soiling 230mm thick with a course of mooram laid in 50 mm thick coarse and required profile with hammer dressed including preparing the bedding surface etc. complete as per specifications and instructing of the Project Manager.
- Providing and laying in position machine batched and machine mixed design mix M-25 grade cement concrete for reinforced cement concrete work, using cement content as per approved design mix, including pumping of concrete to site of laying, but excluding the cost of centering, shuttering, finishing and reinforcement, including admixtures in recommended proportions as per IS: 9103 to accelerate, retard setting of concrete, improve workability without impairing strength and durability as per direction of Engineer-in-charge.  
(Note :- Cement content considered in this item is @ 330 kg/cum. Excess/ less cement used as per design mix is payable/recoverable separately).
- Providing and laying factory made chamfered edge Cement Concrete paver blocks In foot path, park & lawns driveway or light & traffic parking etc. of required strength, thickness & size/ shape, made by table vibratory method using PU mould, laid in required colour & pattern over 50mm thick compacted bed of coarse sand, compacting and proper embedding/laying of inter locking paver blocks into the sand bedding layer through vibratory compaction by using plate vibrator, filling the joints with sand and cutting of paver blocks as per required size and pattern, finishing and sweeping extra sand, all complete as per manufacturer's specifications & direction of Engineer- in-Charge.80mm thick Cement concrete paver block of M-40 grade with approved colour, design & pattern.
- Play courts base to be done with proper compaction of soil above which we need 4-6 inch of wet mix / gsb layer based on the soil condition and pcc (M15) of 3-4 inch M25 concrete above it with 10mm steel of 150mm c/c with VDF finish.

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• Pavement stamped concrete should be laid all around the area in between the room with a min-width of 5 feet with proper walkway and actual plan may vary based on the site location.

Maintenance works:

Every four years all maintenance pertaining to Civil / Electrical / Plumbing are to be done at owners cost.

**Septic tank Size Rational Method:**

Person's	A. Sedimentation Volume Required (M3)	B. FREE BOARD (M3)	C. Sludge Digestion (M3)	D. Storage of Digested Sludge (M3)	Septic tank Size Rational Method (M3)
100	5	5	3	8	21
200	10	10	7	15	42
300	15	15	10	23	63
400	20	20	13	31	84
500	25	25	17	38	105
1000	50	50	33	77	209
1500	75	75	50	115	314
2000	99	99	66	153	418
2500	124	124	83	192	523
3000	149	149	99	230	627

NOTE : Min Depth of Septic tank in Meter = 1.7m

**Over Head Water Tank Capacity Required**

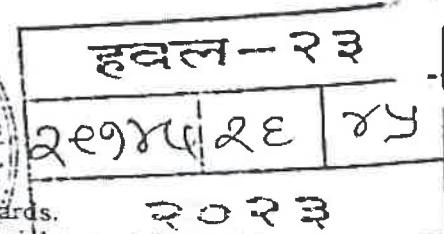
Day schools			Boarding Schools		
Persons	Liters	Total Capacity Required (Litrs)	Persons	Liters	Total Capacity Required (Litrs)
100	45	4500	100	135	13500
200	45	9000	200	135	27000
300	45	13500	300	135	40500
400	45	18000	400	135	54000
500	45	22500	500	135	67500
1000	45	45000	1000	135	135000
2000	45	90000	2000	135	270000

Under Ground Water Tank should be 50% Of Over Head Water tank Capacity & Firefighting tank capacity

**ELECTRICAL SPECIFICATIONS**

**ELECTRICAL SYSTEM**

- Sub Station - including transformer, associated switchgears and 11 KV cabling within the site boundary
- LV cabling from Sub-Station to Main LV Panel.



- LV Panel, SMDBs, Meter Board and Distribution Boards.
- Lighting system for internal common areas, Residential area and associated areas like ramps, parking & staircases etc. and external areas of the building.
- Small power distribution including small power outlets, wiring and accessories for common areas, Commercial areas and associated areas like parking etc.
- UPS power system including UPS units, UPS DBs and associated wiring for Projectors, Desktops Router etc. and wiring devices wherever required.
- Emergency lighting system with Inverter power for common areas.
- Generator supply for Common areas entire building. This will include Generator necessary cabling and associated controls.
- Grounding System for all Electrical systems and equipment & Building Lightning Protection System Details.
- Options to be provided for Solar Power source & Net Metering.
- Power distribution for all MEP Related Equipment and other related equipment in the building.
- Support and documentation for local authorities to obtain necessary approval for services connection (This will be only preliminary in Principal Approval. Actual approval to connect / energize / activate the services connection will need to be taken by the contractor/Client assigned for the project during construction phase). Liaisoning and coordination will be carried out by personnel to be employed by Lessee.
- Providing Rubber Mats in Electrical Rooms, Panel Rooms etc.
- AC provisions Includes Wiring, Switch & Socket provisions with MCB Protection and Sleeves provision for Copper piping and Drain outlet with outdoor unit covering in Elevation.

#### FIRE DETECTION/FIRE ALARM / FIRE FIGHTING SYSTEM

- Fire Fighting System as approved by DGFS/as per NBC.
- Fire Alarm System complete with panel, repeater panel, Mimic devices and wiring details.
- Fire Protection system design complete with fire pumps, hose reel, dry/wet riser, and sprinkler as required, external fire hydrant system within the project plot premises if required. Fire protection system will be provided to meet NBC 2016 requirements and standards.
- Public Address System.
- Exit Signage.
- Fire Extinguishers.
- Support and documentation includes Preparation of Drawings and approvals regarding Fire NOC.

#### COMMUNICATION/SECURITY SYSTEMS

- Telephone / Internet Networking
- Cable TV Networking
- Security Systems such as CCTV Cameras, Access Control Systems(Premium) and wicket Gates etc. as required.

#### HVAC SYSTEMS

- HVAC system for the proposed development normally designed to meet ISHRAE/ASHRAE guidelines and other applicable standards and codes followed in India and for this type of application.
- VRV/VRF System for Olympiad campus where there are multiple outdoor units.

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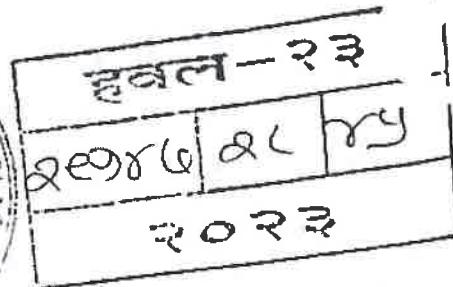


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- System will be designed with DX type with distributed air handling units or VRF, using distributed indoor units, based on the technical and commercial feasibility. Mechanical extract system for toilets, kitchens and other areas where extraction is mandatory. ventilation system shall be designed to meet during normal air conditions.
- Air distribution system within air-conditioned areas of the proposed development, ISHRAE/ASHRAE and meeting IS 655 guidelines.

#### ACCEPTED MAKES OF MATERIALS

1	MCCB / ACB	ABB / MERLIN GERIN- SCHNIDER / LEGRAND /L&T
2	HT/LT CABLES	UNIVERSAL/ POLY CAB / SBEE / UNICAB / KEI
3	CABLE GLANDS	SUNIL/HMI/BRACO/COMET/DOWELLS
4	CABLE LUGS	DOWELL/3D
5	HRC FUSES/BASE	GE / OR APPROVED MAKE/L&T
6	SWITCH FUSE UNITS	HPL/L&T/C&S / GE
7	SPEAKERS	PHILIPS / AHUJA
8	INDICATING METERS	AE/IMP/MECO/ENERCON
9	RISING MAINS	C & S / LEGRAND / L&T
10	SMOKE DETECTORS	APPOLO / SYSTEM SENSOR
11	RELAYS	GE/TELEMECANIQUE/PROK DEVICES/ LEONARD/DIFF
12	CTS RESIN-CAST	KAPPA/IMP/AE/KALPA
13	SELECTOR SWITCHES	L&T/SIEMENS/KAYCEE
14	MCB/MCB DISTRIBUTION	
	BOARDS WITH 9 KA FAULT	
	LEVEL FOR LIGHTING	ABB / MERLIN GERIN- SCHNIDER / LEGRAND /L&T
15	BATTERY	EXIDE / STANDARD / AMARON
16	LIGHT FITTINGS	PHILIPS/WIPRO/BAJAJ / HAVELLS / CROMPTON
17	INDUSTRIAL EXHAUST FANS	GEC/KHITAN
18	CEILING/EXHAUST FANS	KHITAN/ANCHOR/CG
19	ELCB/ELMCB	ABB / MERLIN GERIN- SCHNIDER / LEGRAND /L&T
20	FRLS WIRES-1100V GRADE	FINOLEX/RR CABLE / POWER-FLEX / POLY CAB
21	LIGHT SWITCHES	MDS MOSAIC / ABB / MK INDIA / ANCHOR /LEGRAND
22	TELEPHONE CABLE INDOOR/ OUTDOOR (JELLY FILLED)	DOORAVANI/DELTON/KRONE/D-LINK FINOLEX/KARNATAKA TELE CABLES/VINDHYA/POLY CAB
23	PVC CONDUITS-FRLS (2mm)	VIP/PRECISION/ATUL / NELCO/SUDHAKAR
24	BUS BAR SUPPORT SYSTEM	



(SMC SHEETS)		POWERMAT
25	BUS BAR TAPING BOX	SIEMENS/SCHNEIDER/ABB/L&T
26	DIGITAL KWH METERS	ENERCON / HPL / PROK DV'S/ICD
27	FIRE PANEL	MORLEY / APPOLLO
28	CAT-6 DATA CABLE	KRONE / D-LINK / AMP
29	AIR CONDITIONERS	MITSUBISHI / SAMSUNG / VOLTAS / TOSHIBA
30	PASSENGER LIFTS	KONE / SCHINDLIER / JOHNSONS

#### LOAD MANAGEMENT:

- Power Supply: From Electricity board, Diesel Generator
- 11KV HT Service include transformer & Switch yard / LT Service
- 11 KV switch yard where ever it is required
- Main LT Panel with changeover switch
- Automatic Power factor correction panel
- UPS for work stations, computer rooms, Server rooms, Digital Boards & Emergency lighting
- Distribution Boards
- Generator Backup shall be considered for Lighting, Fans, Common utilities, Office room A.C for Power redundancy.
- UPS shall be of 30 min backup.

#### LT POWER & MAIN LT PANEL:

- 3 Phase, 4 Wire, 433V, 50 HZ supply shall be provided at the incomer of the LT panel.
- Approved Energy meter shall be provided in the LT panel with KWH & KAVH reading.
- CT short circuit links shall be provided in LT panel.
- LT Panel manufacturer shall be CPRI approved vendor.
- Change over switch shall be provided for DG operations, if main supply fails.
- LT panel shall be properly earthed.
- All Cables shall be properly entered to the LT Panel through gland and gland earthing shall be done.
- APFC panel control wiring to be completed as per requirement.

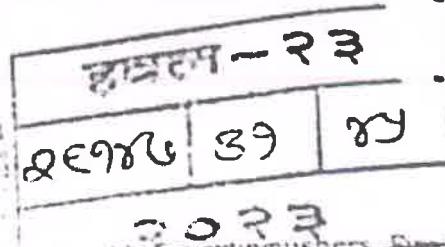
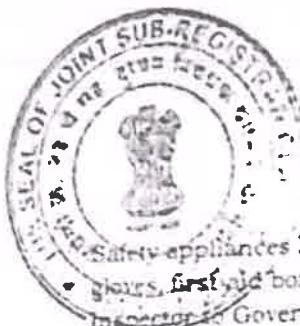
#### AUTOMATIC POWER FACTOR CORRECTION SYSTEM:

- Power factor shall be maintained at 0.95 to 0.99 lagging.
- APFC panel sizing shall be considered for 40% of connected load.
- APFC panel shall be provided with proper ventilation system. (with exhaust fans)
- The cylindrical type / Detuned type insulated capacitors will be proposed.
- The power factor correction system will be designed with digital automatic power factor correction relays, capacitor duty contactors, MCB or MCCB for the protection of the system.

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Safety appliances like portable fire extinguishers, fire buckets with sand, rubber mats, first aid box, first aid charts etc. as per the norms of the CEIG (Chief Electrical Inspector to Government of Andhra Pradesh) will be carried out.

- One number of 4.5Kg Co2 fire extinguisher in each electrical room.
- One 4.5Kg DCP fire extinguisher in each electrical room.
- Rubber mats in front of the electrical panels.
- Shock treatment chart & First aid box in each electrical room.
- Ventilation system shall be considered for Electrical rooms.
- EXIT signage shall be provided.

#### COMMISSIONING & HANDING OVER:

All electrical equipment shall be installed, tested & commissioned in accordance with latest relevant standards and codes of practice published by Bureau of Indian Standards.

After successful commissioning, the project has to be handed over to the Lessee along with the test certificates, vendor list of equipment, as built drawings, Operational manual and training to be given to maintenance team.

The balance spares shall be submitted by the owner to the Lessee.

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  <b>HAVELI</b> मुनिसिपल बोर्डरेल नं. १५० दाखला	कांचीर अभियंता कायांलव दाखला दिक्षास दिवास झोन फ. ९ दुःखनगरपालिका जाफ्र - झोन १/३०८८ दिनांक - २०/०८/२०२२
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प्रा. / सो. - राजित टेक्टल्स तर्फे दाखला दिक्षास झोन

सा. :- योड्डा दु. ॥ नावान, मुंगे.

दिनांक - सन्तान प्राप्त दिक्षास दोजन

मात्र - आम्हा आ फ. ५२३८ दि

घटन न - सीई/दीवी/१६२३३/२२

मात्राच्या नगर विकास विभागानंतरे दि २००० दी अधिकारी कांचीर १८८८/१५८४/संस्कर-६९/११/मटि-६३ द्वारा मुंगे जिल्हाची नावान **मुंगे दाखला** आहे गदराची मजूर प्रादेशिक घंजना दि १३०८ २००० वर्षी अमलात अलेली असून या घटनेस दुःखनगरपालिका दोजन असे सदोधण्यात येत आहे. तर ग्रांडेज घंजनेवर्धात रसेन दाखल आराखड्यानुसार घारातलग्रनार्दी आहे.

सर्व न या घटनात घारातलग्रनार्दी आहे.

सर्व न य - जंडी रन्दे न ४०

दिनांक :- निवासी झोन

दरील सर्व नंदरधा काही भाग नान्यता प्राप्त प्रादेशिक आराखड्यानधील घालील रस्त्यात जात आहे.

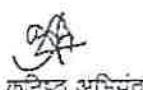
सर्व -

दरील विकलत किंवा निलक्तीचा काही भाग नान्यता प्राप्त प्रादेशिक आराखड्यानधील घालील आरक्षित केला आहे.

अ) -

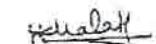
इतर पाहिती - सदर मिक्कीतीचा झोन दाखला नान्यता प्राप्त आर.पी. नकाशा याप्रनागे दिलेला असून अंतिम नान्यता निलक्तेदेणी दान्धये वदल होण्याची शक्यता नाकारता येत नाही. याची नोंद घ्यावे.

कायांलव

  
कायांलव अभियंता

दाखला दिक्षास दोजना

मुंगे महानगरपालिका

  
उप अभियंता

दाखला दिक्षास दोजना

मुंगे महानगरपालिका

टेक्टल

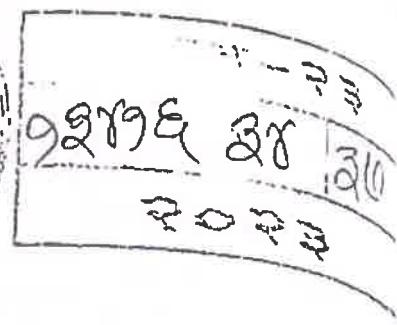
- १) असून जन रेलवे पट विश्वासाने दाखला हवा असल्यास या कायांलवाक्षळून जागेवर आखनी कलन घेणे जाईशक आहे त्यानधील दोन हिंदूपाली शासनाच्या मूलापन कायांलवाक्षळून जागेवर घेण्याची कलन त्यानन्दन. त्यार घेण्याची घेण्याची नकाशाच्या चार प्रती व प्रत्येक हिंदूपाली आदेशक ते शुल्क महानगरपालिकावर नर्मदा-तंत्र घेणे हिंदूपाली झोनिंग दाखल्याक्षळून पुढील कायांलवी करण्यात देईल.
- २) नेटोवेल आराखड्यानील अद्यावत फेरददल / नॉडोफिकेशन यादत घातरजना होणेवर.

NARAYANA EDUCATIONAL TRUST

NARAYANA EDUCATIONAL TRUST

  
SECRETARY

SECRET



‘नवरुल’ पत्र  
मोज १- उंडी  
तालुका १- हवेली  
गिल्हा १- मुणे

अतितातडी/४. का/गो. नं/१९५०१/२०२३

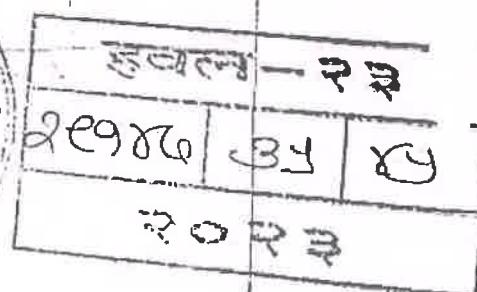
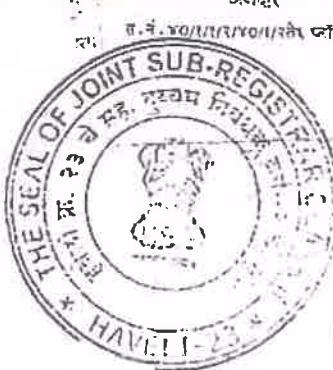
मोजणीचे करणा

अर्जदार श्री. रणगित डेक्पर्स तरफ यायासाहेब भाऊन झेळक  
यांनी भौज उंडी ता. हवेली वेधील स. न.  
४०/१/१२/४०/१२तो१/ फॉट ५२व्या क्षेत्रावे नोंदवाणी  
केलेल्या अजानुवार मोजणीकाम केले असे.

समजुद्दीच्या टिप्पा

- १) — या प्रमाणे स. न. ची हृद अभिलेखापत्रांची
- २) — या प्रमाणे लॉट ची हृद असे.

वरील प्रमाणे ? ते २ टिप्पा नमूद उद्दत.



दर्शन = ११०००

मोजणी करणार १-  
(X.XXX)  
(मुकुलावेक)

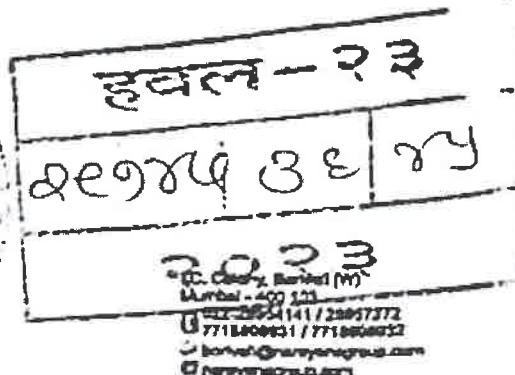
मोजणी तारीख १४/१०/२०२२

NARAYANA EDUCATIONAL TRUST

SECRETARY

*R. B. Joshi*

*S*



CERTIFIED TRUE COPY OF THE RESOLUTION PASSED AT THE MEETING OF BOARD OF TRUSTEES OF NARAYANA EDUCATIONAL TRUST HELD ON WEDNESDAY, 1<sup>ST</sup> NOVEMBER, 2023 AT 10:30 AM AT 10<sup>TH</sup> FLOOR, MELANGE TOWER, NO. 80-84, PATRIKA NAGAR, HITECH CITY, MADHAPUR, HYDERABAD, TELANGANA 500081

AUTHORIZATION FOR EXECUTION OF THE LEASE DEED

"RESOLVED THAT consent of the Trust be and is hereby accorded to execute the proposed lease deed with M/s. MIND AND NATURE ASSOCIATES (PAN No.ABBFM8455H), a Partnership Concern having its registered office at No.1, C-2, Brahma Estate, Khondwa Khurd, Pune, represented by its Partner, in respect of the premises admeasuring 25,000 Sq.ft. of built up area consisting Ground + Two floors building to be constructing on the land admeasuring 4390.39 Sq.mtrs, bearing Plot No.52, covered under Khasra No's.40/1/1/2, 40/1/2 to 6, situated at Undri Village, Haveli Taluka, Pune District, Maharashtra, on such terms and conditions as contained in the draft lease deed tabled at the meeting.

RESOLVED FURTHER THAT MR. V SRINATH, Managing Trustee or any other Trustee be and are hereby severally authorized to sign the lease deed for and on behalf of the Trust and to present the same for registration before concerned Registrar of Assurances.

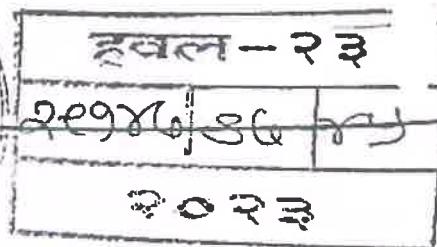
RESOLVED FURTHER THAT a copy of this resolution, under signature of any one Trustee, be furnished to concerned parties/authorities, for its being acted and relied upon"

//CERTIFIED TRUE COPY//  
For Narayana Educational Trust

  
V SRINATH  
Managing Trustee

NARAYANA EDUCATIONAL TRUST

  
Sri  
SECRETARY



[प्रिंट-प. खा. (पु. वा. नि.) २०४.



46)

## नोंदणीचे प्रमाणपत्र

मात्रारे प्रमाणपत्र देण्यात येते की, याला दर्शन देले लो. सावंजनिक विद्यस्तव्यवस्था ही थार, भूवर्द सावंजनिक विद्यस्तव्यवस्था अधिनियम, १९५० (तन १९५० चा भूवर्द कांघिनियम नं. २९) वा धन्ये ३३२८८. Mumbai. Region. Mumbai. देशी सावंजनिक विद्यस्तव्यवस्था नोंदणी कापांदयात योग्य रीतीने नोंदण्यात आलेली आहे.

सावंजनिक विद्यस्तव्यवस्थेचे नाम NARAYANA EDUCATIONAL TRUST

सावंजनिक विद्यस्तव्यवस्थांच्या नोंदणी पुस्तकातील क्रमांक F. ५०९३६ (num.)  
Mumbai. Juhu. Colaba. यांत्र प्रमाणपत्र दिले.

आण दिनांक १५/०२/२०१५ नोंदणी प्रमाणपत्राचा सहीनिशी दिले.

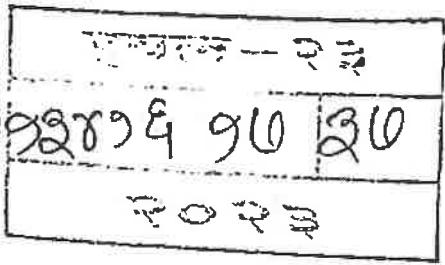
दिलेका



१५/०२/२०१५  
प्रमाणपत्र  
दिलेला दिनांक  
प्रमाणपत्र

NARAYANA EDUCATIONAL TRUST

*Sri*  
SECRETARY



आयकर विभाग  
INCOME TAX DEPARTMENT

भारत सरकार  
GOVT. OF INDIA

e - Permanent Unique Registration Number (e-PAN) Card

नाम / Name

મિન્ડ/એટન એન્ટે તારોછ

**Date of Incorporation / Formation**

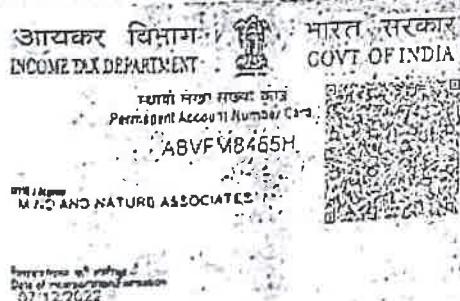
A circular stamp with a double-line border. The outer ring contains the text 'PERMANENT JOINT ULTRASOUND NUMBER' at the top and 'MIND AND NATURE ASSOCIATION' at the bottom. The inner circle contains 'Haveli' at the bottom, 'Pimpri Chinchwad' in the middle, and 'Maharashtra' at the top. The date '07/12/2022' is stamped in the center. The entire stamp is in black ink on a white background.

हावल - २३

Signature valid  
Digitally signed by  
Income Tax Deptt  
Date: 22/12/2013  
GM/ITD/13

- ✓ Permanent Account Number (PAN) facilitate Income Tax Department linking of various documents, including payment of taxes, assessments, tax demand tax letters, matching of information and easy maintenance & retrieval of electronic information etc. relating to a taxpayer.
- ✓ Quoting of PAN is now mandatory for several transactions specified under Income Tax Act, 1961 (Refer Rule 14B of Income Tax Rules, 1962) अपने अधिनियम, 1961 के तहत निर्दिष्ट कई निवेदन के लिए स्थानीय तात्पार्य (पैसे) का उपयोग अब अनिवार्य है (भारतीय नियम, 1962 के रिफर्न्स 114B, लाईज़ अंड एंट्री)।
- ✓ Possessing or using more than one PAN is against the law & may attract penalty of upto Rs. 10,000.
- ✓ The PAN Card enclosed contains Enhanced QR Code which is readable by a specific Android Mobile App. Keyword to search in a specific Mobile App on Google Play Store is "Enhanced QR Code Reader for PAN Card".

- 13 -



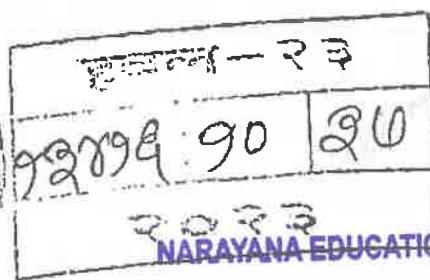
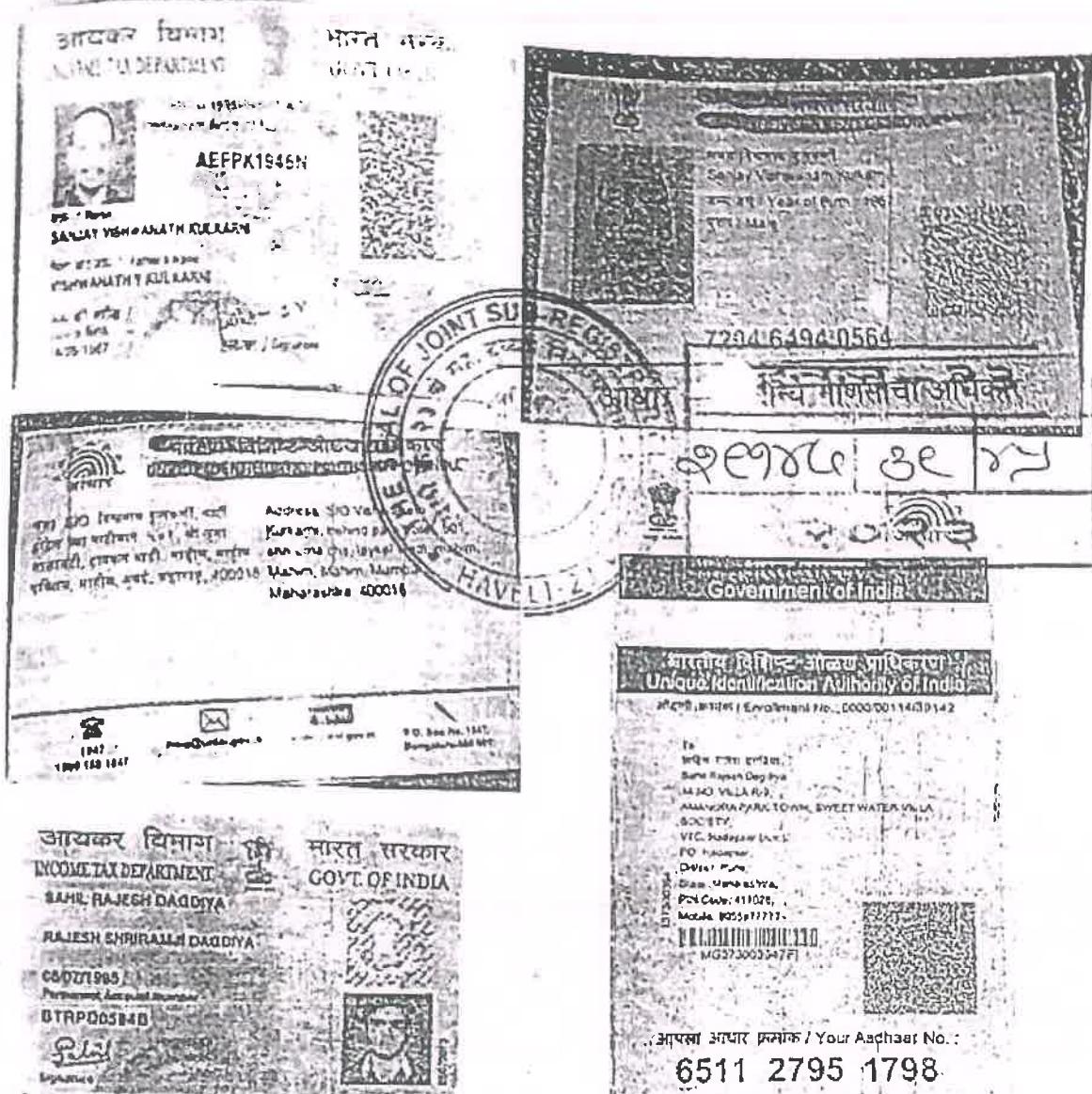
पुरुष कर्त्तव्ये दार्शन/प्राण पर कृष्ण द्वारा दायेंगा जी/प्राण,  
प्राण दर्शन देता है, वह एक है इन  
उपरी विद्या, वही विद्या,  
जन्माद् १३१, ग्रन्थ ३, ३३७/१,  
प्राप्ति विद्या, देवी कर्त्तव्या दायेंगा जी, विद्या,  
प्राप्ति १११०६.

If this card is lost, I promise to return it to you  
please inform me at 011-22110000  
Lokesh TEL PAN Services Ltd. NSDL  
51, First, Mainji Street,  
Plot No. 342, Survey No. 107/2,  
Mumbai, California, New Delhi, Bangalore, Chhattisgarh,  
Pune - 411 008.  
Tel: 011-22110000, Fax: 011-22118943

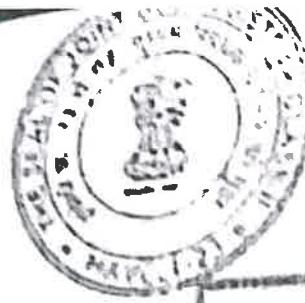
Electronically issued and Digitally signed e-PAN is a valid PAN. The PAN is issued subject to the provisions of the Income Tax Act, 1961 and the Income Tax Rules, 1962. The PAN is issued subject to the provisions of the Income Tax Act, 1961 and the Income Tax Rules, 1962. For more details, visit [www.incometaxindia.gov.in](http://www.incometaxindia.gov.in)

## NARAYANA EDUCATIONAL TRUST

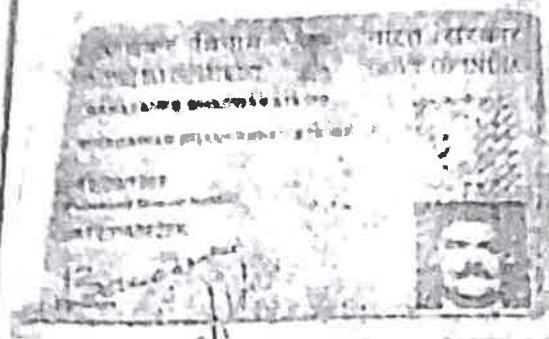
*Sm*  
SECRETARY



ONAL TRUST  
SIR  
SECRETARY

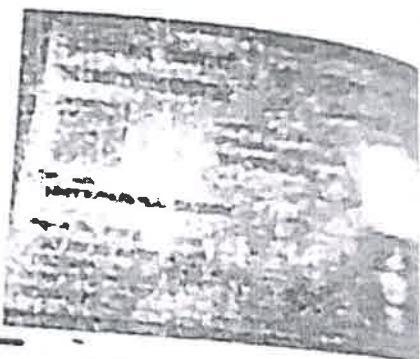


29/12/99 20  
2023



Book List

State Library  
Mysore  
29/12/99

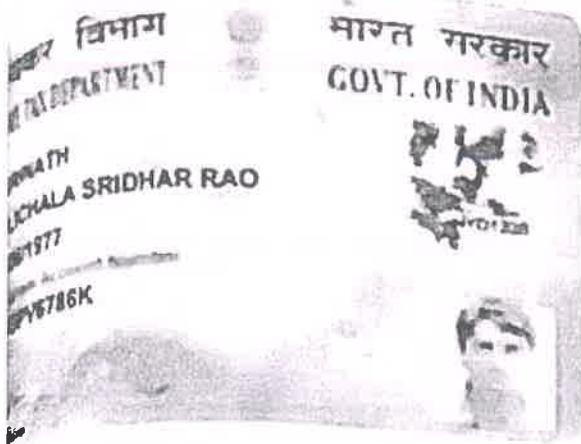


हृष्टल - २३  
२९१२६ १० ४५



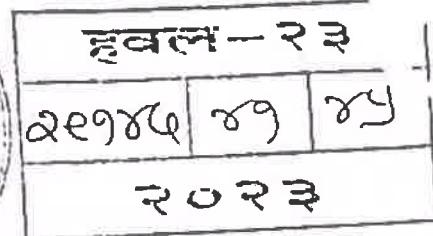
NARAYANA EDUCATIONAL TRUST

SECRETARY



आद्यकर विभाग  
CIVIL DEPARTMENT  
NARAYANA EDUCATIONAL TRUST

01/03/2015  
2014 Account No. 0000  
ACTN2045G



भारत सरकार  
भारत प्रभुत्वां  
Unique Identification Authority of India  
Government of India

Enrolment No.: 1094/50765/00849

To : Venkata Srinath  
(Venkata Srinath)  
S/O Late V Sridhar Rao  
1-1044A/3  
Street No 2  
Adikar Nagar  
Hosur/Hosur  
Hyderabad  
Andhra Pradesh - 500281

Date: 23/03/2011



EY 04546639 8 IN

मेरा आदर्श संख्या / Your Aadhar No. :

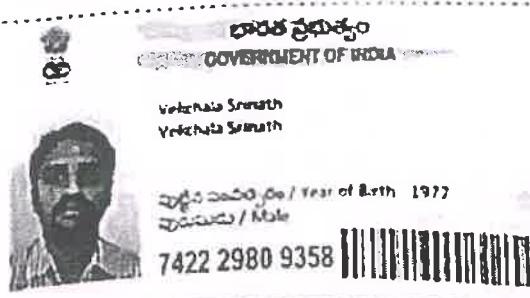
7422 2980 9358

आदर्श - नारायणनी हाकु

NARAYANA EDUCATIONAL TRUST

Sri  
SECRETARY

S



## मूल्यांकन पत्रक ( शहरी होम - दमो - बापीच )

10 December 2021 10:20:19  
AM

पृष्ठ

पृष्ठ

तालुका शेंगोरी रिभगांडे नवे ( वि. क्र. 400 अंडे ) पर्यंत नवगांडे निवारी क्षेत्र ( वार्ड ५ है )  
पुनर्मानपत्रक ( नवगांडे )

सर्वे नवे न भू क्षेत्रक

सर्वे नवे न

इस सूची द्वारा तकनीकी मूल्यांकन करा गया है।

निवासी सदाचारक

बायांतर्य

दक्षाते

प्रदाताक

मोजमगांडे दमो

वा भीतर

हाथ व बापीच क्षेत्रांकी माहिती

232142

मीटर

1. आर गी

सी

पर्यंत गण्डे

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वेस्टर्न मीटर

मिलकतीधे

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महाविट्यालय

मिलकतीधे मीटर

वय

महाविट्यालय

मिलकतीधे पातर

मूल्यांकन काप्तानामा

दर

Buck Land

कुल भूमि पर निर्माण किया गया विभिन्न विवरण

कुल भूमि मूल्यांकन

ता गोदार क्षेत्रांकी गणिक मूल्य दरवार

मूल्यांकन दरवार

ता गोदार क्षेत्रांकी मूल्य = 16749234

कुल भूमि एकवित मूल्य

ज्ञानवार्ष निर्माणांकी पति वा भीतर मूल्यांकन

मिलकतीधे दर वा ग्रन्ति

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ज्ञानवार्ष निर्माणांकी पति वा भीतर मूल्यांकन

मिलकतीधे मूल्यांकन दर वा ग्रन्ति वा दरवार क्षेत्रांकी पति वा भीतर मूल्यांकन दर

= ( 16749234 ) \* ( 100 ) \* ( 100 ) \* ( 100 )

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= 16749234

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कुल भूमि एकवित मूल्य

शेंगोरी एकवित मूल्य

मूल्य विकासी निर्माण निवारी क्षेत्र वा ग्रन्ति वा दरवार क्षेत्रांकी पति वा भीतर मूल्यांकन दरवार

शेंगोरी एकवित मूल्य

= A \* B \* C \* D \* E \* F \* G \* H \* I \* J

= 16749234 \* 100 \* 100 \* 100 \* 100 \* 100 \* 100 \* 100

= R. 16749234

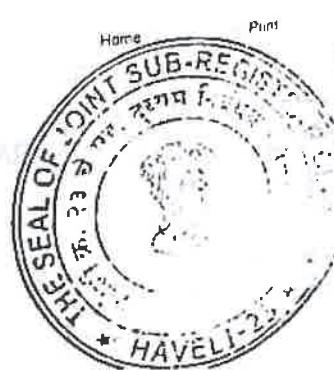
कुल भूमि क्षेत्रांकी एकवित अंतिम मूल्य

बापीच क्षेत्रांकी मिलकत मूल्य \* शुल्य क्षेत्रांकी मिलकत नूल्य

= ( 16749234 ) \* ( 16749234 )

R. 16749234

= चांदा करोड ब्याएरी साडे वेपन्न हजार सहा शे पौऱ्याहतर



NARAYANA EDUCATIONAL TRUST

  
SECRETARY

२९१४७  
०९ ऑगस्ट २०२३ १२:०९ म.न.

दस्तावेज भाग-१

दस्तावेज २३ | २५  
दस्तावेज क्रमांक: 29147/2023

दस्तावेज नं. २३/२९१४७/२०२३

राशा मुद्रा: रु. 14,82,53,674/- गोबद्धता: रु. ००/-

परनेने मुद्रावाला शुल्क: रु. 80,37,000/-

द. नि. नह. द. नि. दस्तावेज २३ यांचे वार्षाविधात

अ. नं. 29147 वर दि. ०९-१२-२०२३

तारीख १२:०७ म.न. या. हात्र केल्या.

पायनी: ३१५०७

पायनी दिनांक: ०९/१२/२०२३

मादरकारणारांव नाव: मै नारायणा प्रभुकेशनम इम्ट नंके अधिकृत  
स्वाभाविकारक व्ही धीनाथ -

नोंदणी फी

रु. 30000.00

दस्त हाताळणी फी

रु. ९००.००

मुद्रांची मंज्या: ४५

मुद्रा: ३०९००.००

दस्त हात्र राशीची मही:

Jt. Sub Registrar Haveli 23

दस्तावा प्रकार: आडपट्टा

मुद्राक शुल्क: (एक) कोणत्याही महानगरपालिकेच्या हृदीन किंवा स्थानगत असलेल्या कोणत्याही कटक क्षेत्राच्या हृदीन किंवा उप-खंड (दोन) मध्ये नमूद न केलेल्या कोणत्याही नागरी क्षेत्रात

पिक्का क्र. १ ०९ / १२ / २०२३ १२ : ०७ : ३४ PM ची वेळ: (मादरीकरण)

पिक्का क्र. २ ०९ / १२ / २०२३ १२ : ०८ : ४४ PM ची वेळ: (फी)

Jt. Sub Registrar Haveli 23  
२३/२९१४७/२०२३-२

हृदलांक २३ रुप्या

प्रतिज्ञापत्र  
आम्ही लिहून देणार व लिहून पेणार  
मात्य प्रतिज्ञेवर लिहून देतो की मद्द दस्ताव  
जोडलेली पृष्ठ कागादपत्रे ही आमल व खरी  
अम्ब ती मुऱ्ठी व यावट ३५८८ अल्यास  
नोंदणी अधिनियम १९०८ चे काल्पन २ अन्वये  
होणाऱ्या पार्वंद्याहीत आम्ही जवाबदी राह.

लिहून पेणार

देणारा

P.M.  
Pankhusha W.  
Rukhais  
S.M.



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Payment Details.

sr.	Purchaser	Type	Verification no/Vendor	GRN/Licence	Amount	Unad AI	Deface Number	Balance Date
1	MS MIND AND NATURE ASSOCIATES	eChallan	00040572023120982639	MH012132608202324E	908000.00	SD	0006364327202324	09/12/2023
2	MS MIND AND NATURE ASSOCIATES	eChallan	00040572023120735001	MH012060581202324E	7102000.00	SD	0006364327202324	09/12/2023
3		DHC		1223075917433	900	RF	1223075917433D	09/12/2023
4	MS MIND AND NATURE ASSOCIATES	eChallan		MH012060581202324E	30000	RF	0006364327202324	09/12/2023

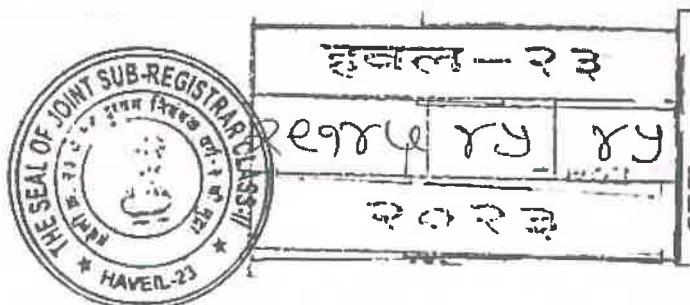
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प्रमाणित करण्यात यत का  
वा दस्तऐवजात एकूण ५५ पैसे आहेत  
पहिले नंवाराचे पुस्तकाचे  
नंवरी नोंदला।

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५ या. नुस्खा निवारक (रांग-२) हवेली रु ५५  
दिनांक १९२/१२/२०२३

प्रमाणित करण्यात यत का  
दिनांक १९२/१२/२०२३

गाव नमुना ६  
फरफार नोंदवाही ( फरफार पत्रक )  
। महाराष्ट्र जमीन महसुल अधिकार अभिलेख आणि नोंदवाहा ( तयार करणे व सुस्पिरीत ठेवणे ) नियम, १९७१ पातीत नियम  
१० ।

गाव :- उंड्री

तालुका :- हवेली

जिल्हा :- पुणे

नोंदीचा अनुक्रमांक	सपादन केलेल्या अधिकाराचे स्वरूप	परिणाम झालेले भुमापन व उपविभाग क्रमांक	अधिकाऱ्याचे नाव, आधाकारी व शेरा
12252	<p>फरफाराचा प्रकार : अनोंदणीकृत नोंदीचा प्रकार : भाडे पट्याने फेरफाराचा दिनांक : 22/12/2023 माहिती मिळालेचा दिनांक : 19/12/2023</p> <p>लिहुन घेणार : मे. नारायणा एज्युकेशनल ट्रस्ट तरफे अधिकृत स्वाक्षरीधारक क्षी श्रीनाथ, वोरिवली(वेस्ट), मुरव्वे लिहुन देणार : १) माईड अॅन्ड नेचर कन्सेट्स एल एल पी तरफे पाटनर च्या तरफे दस्तेवज प्रवेशासाठी कु मु निकिता रत्नलाल दगडिया, २) वावासाहेब भगवान आतकिरे, ३) सतीश किसनलाल सोनी, ४) साहिल राजेश दगडिया व ५) माईड अॅन्ड नेचर असोसिएट तरफे भागिदार च्या तरफे दस्तेवज प्रवेशासाठी कु मु संजय विश्वनाथ कुलकर्णी रा. उंड्री यांनी दुष्यम निवंधक सह दु.नि.हवेली 23 यांचेकडील दस्त क्रमांक 29147 दिनांक 09/12/2023 प्रमाणे रक्कम रुपये ०/- घेऊन गट नंबर सर्व नंबर ४०/१/१/२०/१/२८६/प्लॉटनं/५२ क्षेत्र ४०.०००० वर दिनांक 09/12/2023 पासून कालावधि वर्ष ३० महिने ० साठी भाडेपट्ट्याची नोंद दाखल केली. वरीलप्रमाणे कागदपत्रे दप्तरी दाखल असे.</p> <p>हितसंबंधितांना नोटीस बजावल्याचा दि. फेरफार नोंद निर्गतीचा दि.</p> <p style="text-align: center;">( स्वप्रीत साहेबराव आंबेकर ) तलाठी उंड्री साज्जा महंमदवाडी ता. हवेली जि. पुणे</p>	<p>40/ १/ १/ २०/१/२८६/प्लॉटनं/५२</p> <p>एकूण :- १</p>	<p>(फेरफार प्रतीक्षित) मडळ अधिकारी:- हडपसर ता.: हवेली जि.: पुणे दि.:</p>

“या प्रमाणित प्रतीसाठी फी महणून १५- रुपये मिळाले.”  
दिनांक :- 22/12/2023

सांकेतिक क्रमांक :- 2705000703119500001220233196

( नाव :- स्वप्रीत साहेबराव आंबेकर )  
तलाठी साज्जा :- महंमदवाडी ०० :- हवेली जि :- पुणे

फामगार तलाठी उड्डे

ता. हवेली, जि. पुणे

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महाराष्ट्रा / / २० 12/22/2023

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