



09/12/2023

सूची क्र.2

दुष्प्रस निबंधक : मह. दु. नि. हवेली 23

दम्प क्रमांक : 29147/2023

नोदणी :

Regn:63m

गावाचे नाव : उंडरी

(1) विवेचाचा प्रकार भांडपट्टा
 (2) मोठेपणा 0
 (3) वाजाराभाव(भांडपट्ट्याच्या वावनिवृत्तीकर आकारणी देना की गटवृत्त न मसुदा बराबरे) 148253674

(4) भू-मापन, पोटहिसा व घरकामांक(अमल्यान)

1) यापिकेचे नाव: पुणे म. न. पा. इतर वर्णन : इतर माहिती: मूळ मोजे उंडरी ना हवेली जि पुणे येथील मळ नं 40/1/1/2/40/1/2 ने 6/प्लॉट नं/52 यांची क्षेत्र 00 हे 43.9039 आर पैकी क्षेत्र 40.0000 या मिळकतीवरील नळ मजला अधिक दोन मजले वांधकाम क्षेत्र 25000 ची फूट विन्डअप हि मिळकत नदर दमनाचा विषय आहे (भांडपट्टा काळावधी - 30 वर्षे) (Survey Number : 40/1/1/2/40/1/2 ने 6/प्लॉट नं/52 ;)

(5) क्षेत्रफळ

1) 40.0000 आर. चौ. मीटर

(6) आकारणी किंवा नुडी देण्यात अमेव नव्हा.

(7) दमनऐवज करन देणा-या/विहून देवणा-या पध्दतीचा नाव किंवा दिवाणी न्यायालयाचा हुकुमनामा किंवा आदेश अमल्यान, प्रतिवादिचे नाव व पत्ता.

1) नाव:- मे. नारायण गुरुकुल ट्रस्ट तर्फे अधिकृत स्वाधरीधारक व्ही रीनाथ - वय:-46; पत्ता:- प्लॉट नं:-, माळा नं:-, इमारतीचे नाव:-, ब्लॉक नं:-, रोड नं:- वोगिवली (विन्ड) मुंबई, आंध्र प्रदेश, हैदराबाद. पिन कोड:-500003 पॅन नं:-AACTN2045G

(8) दमनऐवज करन देणा-या पध्दतीचा व किंवा दिवाणी न्यायालयाचा हुकुमनामा किंवा आदेश अमल्यान, प्रतिवादिचे नाव व पत्ता

1) नाव:- माईड अँड नेचर कन्सेप्ट्स एल एल पी तर्फे पार्टनर च्या तर्फे दमनऐवज प्रवेशासाठी कु. सु. निकिता रमनलाल दगडिया वय:-; पत्ता:- प्लॉट नं:-, माळा नं:-, इमारतीचे नाव:-, ब्लॉक नं:-, रोड नं:- बाणेर पुणे, महाराष्ट्र, पुणे. पिन कोड:-411045 पॅन नं:-ABVFM8455H
 2) नाव:- बाबामाहेब भगवान आतकीरे वय:-; पत्ता:- प्लॉट नं:-, माळा नं:-, इमारतीचे नाव:-, ब्लॉक नं:-, रोड नं:- अंध बाणेर पुणे, महाराष्ट्र, पुणे. पिन कोड:-411045 पॅन नं:-ABVFM8455H
 3) नाव:- सतीश किमनलाल सोनी वय:-; पत्ता:- प्लॉट नं:-, माळा नं:-, इमारतीचे नाव:-, ब्लॉक नं:-, रोड नं:- अंध बाणेर पुणे, महाराष्ट्र, पुणे. पिन कोड:-411045 पॅन नं:-ABVFM8455H
 4) नाव:- माहिल राजेश दगडिया वय:-; पत्ता:- प्लॉट नं:-, माळा नं:-, इमारतीचे नाव:-, ब्लॉक नं:-, रोड नं:- अंध बाणेर पुणे, महाराष्ट्र, पुणे. पिन कोड:-411045 पॅन नं:-ABVFM8455H
 5) नाव:- मे. माईड अँड नेचर कन्सेप्ट्स तर्फे भागीदार च्या तर्फे दमनऐवज प्रवेशासाठी कु. सु. संजय विघ्नाय कुलकर्णी वय:-; पत्ता:- प्लॉट नं:-, माळा नं:-, इमारतीचे नाव:-, ब्लॉक नं:-, रोड नं:- अंध बाणेर पुणे, महाराष्ट्र, पुणे. पिन कोड:-411045 पॅन नं:-ABVFM8455H

(9) दमनऐवज करन दिल्याचा दिनांक

09/12/2023

(10) दम्प नोंदणी केल्याचा दिनांक

09/12/2023

(11) अनुक्रमीक, खंड व पृष्ठ

29147/2023

(12) वाजाराभावाप्रमाणे मुद्रांक शुल्क

8007000

(13) वाजाराभावाप्रमाणे नोंदणी शुल्क

30000

(14) धंग

मह. दुष्प्रस निबंधक वार्ड-२
 हवेली क्र.-२३, पुणे

मुल्यांशनासाठी विभागान घेतलेला तपशील:-

मुद्रांक शुल्क आकारनाला निवडलेला अनुच्छेद :- (i) within the limits of any Municipal Corporation or any Cantonment area annexed to it.



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Document Handling Charges
Inspector General of Registration & Stamps

Receipt of Document Handling Charges

PRN 1223075917433

Receipt Date 09/12/2023

Received from MS MIND AND NATURE ASSOCIATES, Mobile number 0000000000, an amount of Rs.900/-, towards Document Handling Charges for the Document to be registered on Document No. 29147 dated 09/12/2023 at the Sub Registrar office Joint S.R.Haveli 23 of the District Pune.

DEFACED

₹ 900

DEFACED

Payment Details

Bank Name SBIN

Payment Date 07/12/2023

Bank CIN 10004152023120715777

REF No. IGAQNWLC1

Deface No 1223075917433D

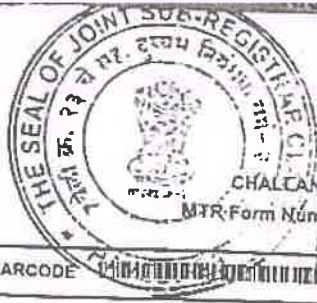
Deface Date 09/12/2023

This is computer generated receipt, hence no signature is required.

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GRN	MH012132608202324E	BARCODE	MTR Form Number-6		Date	09/12/2023 11:21:09	Form ID	36
Department			Inspector General Of Registration					
Stamp Duty			Payer Details					
Type of Payment			Registration Fee		TAX ID / TAN (If Any)			
			PAN No.(If Applicable)		ABVFM8455H			
Office Name			HVL1_HAVELI NO1 SUB REGISTRAR		Full Name		MS MIND AND NATURE ASSOCIATES	
Location			PUNE		Flat/Block No.		SURVEY NO 40/1/1/2/40/1/2 TO 6/PLOT NO:52	
Year			2023-2024 One Time		Premises/Building			
Account Head Details			Amount In Rs.		Road/Street		UNDRI	
0030046401 Stamp Duty			905000.00		Area/Locality		PUNE	
					Town/City/District			
					PIN		4 1 1 0 6 0	
			Remarks (If Any)					
			PAN2=AACTN2045G-SecondPartyName=MS NARAYANA					
			EDUCATIONAL TRUST-					
			Amount In		Nine Lakh Five Thousand Rupees Only			
			9,05,000.00		Words			
Payment Details			STATE BANK OF INDIA		FOR USE IN RECEIVING BANK			
Cheque/DD Details			Bank CIN		Ref. No.		00040572023120982839	
Cheque/DD No.			Bank Date		RBI Date		09/12/2023-11:24:24	
Name of Bank			Bank-Branch		STATE BANK OF INDIA			
Name of Branch			Scroll No. , Date		Not Verified with Scroll			

Department ID : 0000003000
 NOTE:- This challan is valid for document to be registered in Sub Registrar office only. Not valid for unregistered document.
 दहा नलान कडलल दलललल कलललललललल नलललल कलललललललल दलललललललल नलललल अललल. नलललललललल कलललललललल दलललललललल सललल कलललललललल
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Challan Defaced Details

No.	Remarks	Defacement No.	Defacement Date	UserId	Defacement Amount
1	(IS)-524-29147	0008384323202324	09/12/2023-12:08:52	IGR564	905000.00
Total Defacement Amount					9,05,000.00



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LEASE DEED

This **LEASE DEED** is made and executed on this 09 day of December, 2023 at Pune by and between:

M/S. MIND AND NATURE ASSOCIATES

[Income Tax Permanent Account Number ABVFM8455H]

A duly constituted under the governing provisions of Indian Partnership Act, 1932 having its registered address at Deron Heights, Office No. 503, Sr No. 270/1/23, A, Baner, Haveli Pune-411045,
Through Its Authorized Partners;

1. MIND AND NATURE CONCEPTS LLP

having registered address at Deron Heights, Office No. 503 Sr No. 270/1/23 Aundh, Baner Gaon. Haveli, Pune 411045.

represented through the designated partner

MS. NIKITA RATANLAL DAGDIYA

Age: About 34 Years, Occupation: Business

2. MR. BABASAHEB BHAGWAN ATKIRE

Age: About 54 Years, Occupation: Business

Residing at: - Shivaji Chowk. Opp. Kavita Floor Mill, Kondhwa Budruk, Pune-411048.

3. MR. SATISH KISANLAL SONI

Age: About 60 Years, Occupation: Business

Residing at: 4002 A, 40 Floor, RA Residencies, Dr Babasaheb Ambedkar Road, Opp Sharda Cinema. Dadar East, Mumbai 400014.

4. MR. SAHIL RAJESH DAGDIYA

Age: About 28 Years, Occupation: Business

Residing at: 14 No. Villa No R-9, Amanora Park Town, Sweet Water Villa Society, Hadapsar, Pune-411028.

5. MR. SANJAY VISHWANATH KULKARNI

Age: About 56 Years, Occupation: Business

Residing at: 501, Shri Uma Co Op Housing Society, Taykal Wadi, Mahim, Mumbai - 400016.

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(hereinafter referred to as 'LESSOR' which term shall mean and include its legal representatives, successors, executors, attorneys, agents, assignees etc.,) of the one part.

AND

M/s. NARAYANA EDUCATIONAL TRUST, (PAN AACTN 2045 G) a Charitable Trust, registered under the Bombay Public Trust Act, 1950, having its registered office at R.R. Inter College of Commerce, behind Shanthi Ashram Bus Stop, Kalpana Chavla Marg, I.C. Colony, Borivali (West) Mumbai-500008, represented by its Authorized Signatory Mr. SRINATH, S/o. late V. Sridhar Rao, resident of Hyderabad, (hereinafter referred to as 'LESSEE' (which expression shall unless it be repugnant to the context or meaning thereof be deemed to mean and include the Trustees of the said Trust for the time being) of the other part;

The LESSOR and the LESSEE shall hereinafter collectively be referred to as the "Parties" and individually as a "Party".

WHEREAS:

- A) The Lessor is the lawful owner and possessor and otherwise well and sufficiently entitled to the premises land measuring 4390.39 Sq.mtrs, bearing Plot No.52, covered under Khasra No's.40/1/1/2, 40/1/2 to 6, situated at Undri Village, Haveli Taluka, Pune District, Maharashtra, (hereinafter referred to as the "Said Premises - Schedule -A"), having purchased the same through the Sale Deed dated 31.05.2023 registered as document No.13416/2023 in the office of the Joint Sub-Registrar Class-3, Haveli-23. The Lessor has good right, full power and absolute authority and indefeasible title, to grant and assure the Said Premises and it is entitled to let-out the same.
- B) The Lessee is an Educational Trust incorporated to establish and operate pre-schools, K-12 schools and junior colleges in India to impart elementary, primary, secondary, higher secondary and higher education and currently operates various such educational institutions in India.
- C) The Lessor at the request of the Lessee, has agreed to give 25,000 Sq.ft., of built up area comprising Ground + Two floors building, to be constructing on the land mentioned above. The Lessor has agreed to provide the said constructed area for a monthly rent @ Rs.35/- (Thirty Five Rupees only) per Sq.ft., exclusive of applicable GST, the rent commencing from 01.03.2024, The rent will be calculated based on the actual built up area agreed to be provided for academic year 2024-2025. The lessee will have right to use the remaining open land in the Schedule Premises and will be used by the Lessee for playground and parking at free of rent. The Lessor has agreed to allow the Lessee to use and occupy the Schedule Premises on lease basis for the purpose of running its school namely 'Narayana E-Techno School' as per the norms of the memorandum of the Lessee, and more particularly described in the Schedule hereunder written (hereinafter referred to as "Schedule A/ Said Premises"). The leasehold land is delineated in red outline on the plan thereof attached hereto and marked in Schedule-B. The entire building constructed thereon together with other Facilities (as defined below) located thereon, details of which are set out in Schedule-C (collectively referred to as 'Schedule Premises').

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- D) The Lessor has agreed to give the Schedule Premises to the Lessee on lease and relying on the representations of the Lessor under this Deed, the Lessee has agreed to take the Schedule Premises from the Lessor on lease, on the terms and subject to the conditions mentioned herein below;
- E) The Parties are now desirous of recording the terms agreed between them by executing this Deed for leasing of the Schedule Premises, in the manner hereinafter provided.

NOW THEREFORE THIS DEED WITNESSETH AS FOLLOWS:

1. DEFINITIONS AND INTERPRETATION

1.1 Definitions

For the purposes of this Deed, in addition to the terms defined in this Deed, unless repugnant to the meaning or context thereof, the following expressions, wherever used in this Deed, shall have the following meanings:

- 1.1.1 "Commencement Date" shall have the meaning set out in Clause 5.4;
- 1.1.2 "Schedule Premises" shall have the meaning given to in 'Schedule-B' of this Deed;
- 1.1.3 "Effective Date" shall mean the date of executing / signing of this lease deed;
- 1.1.4 "Encumbrances" shall mean and include any mortgage, lien, security interest, pledge, hypothecation, charge, claim, option, title defect, title retention, conditional sale, restriction of any nature whether consensual, statutory or otherwise etc., which has the effect of constituting a charge or security interest or other third party interest or a negative lien on the Demises Premises or any part thereof or which could affect the lease of the Schedule Premises or any part thereof, in any manner;
- 1.1.5 "Facilities" shall mean all the structures, faculties and utilities available at the Schedul Premises including parking spaces, playgrounds, swimming pools, tracks, staircases, lifts, library, laboratory, water fountains, toilets, staff quarters, dining halls, kitchens, etc. as are more particularly described in "Schedule C" of this Deed;
- 1.1.6 "Force Majeure Event" shall mean changes in Laws or regulations or any actions by Governmental Authority including any Governmental Authority taking or acquiring the Schedule Premises for any public or quasi-public use or purpose, at any time during the Lease Term, riots, fire, insurrection, war, civil disturbances, terrorist action, terrorist threat, tempest, flood, acts of god; and similar unforeseen circumstances affecting the region or the industry, which are beyond the control of any Party;
- 1.1.7 "Governmental Approval" shall mean any authorization, approval, consent, license or permit required from any Governmental Authority;
- 1.1.8 "Governmental Authority" shall mean and include any government authority, statutory authority, municipal corporation, government department, competent

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authority, agency, commission, board, tribunal or court or other law, rule or regulation making entity having or purporting to have jurisdiction on behalf of the Republic of India or any state or other subdivision thereof or any municipal district or other subdivision thereof;

- 1.1.9 **"Improvements"** shall mean any additions, alterations, or improvements which may be made to the Schedule Premises after the Execution Date and shall include construction of buildings, structures, fixtures, plant and machinery, process lines, installation of heating, ventilation, air conditioning, mechanical, plumbing and other building systems; sewer, storm and waste water systems, parking facilities, fire protection, security and surveillance systems, telecommunications, computers, wiring and cable installations, sports facilities and lab facilities etc.;
- 1.1.10 **"Law(s)"** shall mean all applicable laws, by-laws, rules, regulations, ordinances, protocols, codes, guidelines, policies, notices, directions, judgments, decrees or other requirements or official directive of any Indian Governmental Authority;
- 1.1.11 **"Lease Term"** shall mean the period set out in Clause 3.1;
- 1.1.12 **"Losses"** shall include liabilities, damages, deficiencies, demands, claims (including third party claims), actions, judgments or causes of action, assessments, interest, penalties, claims, diminution in value, any other losses and other costs or expenses (including, without limitation, reasonable attorney's fees and expenses);
- 1.1.13 **"Notice of Termination"** shall have the meaning given to in Clause 13.1.2;
- 1.1.14 **"Person(s)"** shall mean and include any individual, sole proprietor, unincorporated association, body corporate, corporation, company, partnership, limited liability company, joint venture, Governmental Authority, society or any other entity or organization;
- 1.1.15 **"Property Taxes"** shall have the meaning given to in Clause 10.1;
- 1.1.16 **"Rent"** shall have the meaning given to in Clause 4.1; and
- 1.1.17 **"Security Deposit"** shall have the meaning given to in Clause 6.1 & 6.2

1.2 Interpretation

In this Deed, unless the context otherwise requires:

- 1.2.1 words importing persons or parties shall include firms and corporations and organizations having legal capacity;
- 1.2.2 words importing the singular shall include the plural and vice versa where context so requires;
- 1.2.3 reference to any law shall include such law as is from time to time amended, supplemented or re-enacted;

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- 1.2.4 reference to any gender shall include a reference to all other genders;
- 1.2.5 reference to the words "include" or "including" shall be construed without limitation;
- 1.2.6 The descriptive headings of Clauses are inserted solely for convenience of reference and are not intended as complete or accurate descriptions of the content thereof and shall not be used to interpret the provisions of this Deed;
- 1.2.7 The recitals, annexure, schedules and appendices (if any) form part of this Deed and shall have the same force and effect as if expressly set out in the body of this Deed, and any reference to this Deed shall include any recitals, schedules and appendices to it. Any references to Clauses and schedules are references to Clauses of and schedules to this Deed. Any references to parts or paragraphs are, unless otherwise stated, references to parts or paragraphs of the schedule in which the reference appears;
- 1.2.8 Any references to this Deed or any other document shall be construed as references to this Deed or that other document as amended, varied, novated, supplemented or replaced from time to time; and
- 1.2.9 Unless otherwise specified, time periods within or following which any payment is to be made or act is to be done shall be calculated by excluding the day on which the period commences and including the day on which the period ends.

2. SCHEDULE PREMISES

In consideration of the Rent agreed herein and payable by the Lessee in the manner set out below, the Lessor hereby agreed by way of lease registration to the Lessee the Schedule Premises (which is more fully described in the schedule-B mentioned hereunder) on and from the Effective Date, for the Lease Term, in accordance with the terms and subject to the conditions mentioned herein.

3. LEASE PERIOD

- 3.1 The term of the lease for the Schedule Premises granted under this Deed shall be Thirty (30) years, commencing from 01-01-2024 (i.e. as per the CBSE academic year plan) ('Lease Term') out of which initial Ten (10) years is lock-in period unless terminated earlier in accordance with the provisions of this Deed.
- 3.2 **Lease Expiry:** In normal circumstances the Lease Agreement will expire on 31st day of December, 2053.
- 3.3 Upon expiry of said lease agreement either on full maturity or otherwise after lock-in period with 6 months' notice from either parties, as mentioned in clause No.13.1.2 the Lessor will refund interest free deposit received against security on the last day of expiry/termination of the lease agreement and Lessee will hand over the possession of the premises in good condition. It will be responsibility of Lessee undertakes to rectify wear and tears 6 months prior to handover of the said premises to the Lessor. In case of failures to vacate the schedule premises upon expiry, the Lessee will be liable to pay the double of the prevailing rate of the rent. The Lessee also undertakes to clear all the utility bills before handing over of the scheduled premises.

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- 4.1. In consideration of the rights granted by the Lessor to the Lessee under this Lease Deed, the Lessee shall, on and from the Commencement Date as mentioned in Clause 5.4, pay the Lessor a monthly rent of Rs.35/- (Thirty Five Rupees only) exclusive of applicable GST as shown in the Table - A hereunder subject to deduction of TDS as per Income Tax laws, by way of RTGS/NEFT on or before 10th day of every English calendar month and the TDS certificate in Form - 16A of the IT Act will be issued once in a year. The Lessee's liability to pay rent to the Lessor will commence as detailed in the Table-A.

Table - A

Phase	Area (Sq.ft)	Rent (Per Sq.ft.)	Rental month	Occupation date	Fit-out period	Rent commencement date
1 st Phase	25,000	Rs.35/-	Rs.8,75,000/-	01-01-2024	60 days	01-03-2024

- 4.2. That the Lessee agrees to enhance the rent at the rate of 12% after completion of every three (3) years. The parties explicitly agreed that lessor will make further area of the premise from time to time as per requirement of the lessee at the then applicable rate of rent on the present part of the premise with presently existing terms and conditions with date of commencement of then available rent rate as on 1st March of that period.
- 4.3. The Rent may be paid by either cheque/demand draft favouring the Lessor or by way of wire transfer RTGS/NEFT to the designated bank account of the Lessor.

5. RENT FREE FIT-OUT PERIOD

- 5.1. The Lessor shall undertake and complete the fit-out works ('Fit-Out Works') within Sixty (60) days for each phases of the Execution Date, unless such period is extended by the Lessee in its sole discretion and the Lessor shall submit written completion confirmation from the architect/contractor in this regard to the Lessee.
- 5.2. The Lessor shall abide by the specified schedule for completion of the Fit-Out Works. The Lessee shall be entitled to monitor progress of completion of the Fit-Out Works from time to time to determine whether the work is being undertaken on schedule. If the Lessee believes there is a delay in completion of the Fit-Out Works as a result of which the Lessor will not be able to complete the Fit-Out Works within the period mentioned above, Lessee shall be entitled to do it on its own cost and recover the same from the rental payables.
- 5.3. In the event the Fit-Out Works are not completed to the satisfaction of the Lessee and the Lessee chooses not to terminate the Deed as per Clause 5.2 above, then the Lessee shall be free to choose to take possession of the Schedule Premises and complete the remaining Fit-Out Works by itself and in such case the Lessee shall be entitled to set-off and deduct the costs and expenses incurred by the Lessor in completing the Fit-Out Works from the Rent payable to the Lessor.

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- 5.4. The Parties agree and acknowledge that notwithstanding anything to the contrary contained in this Deed, the Lessee shall be liable to commence payment of the Rent and all other amounts relating to the Schedule Premises, only on and from date of completion of all the Fit-Out Works by the Lessor to the satisfaction of the Lessee i. e. 1st March 2024. Provided however in the event of a delay in completion of the Fit-Out Works affecting the commencement schedule of the proposed educational institution at the Schedule Premises, then the Lessee's obligation to pay Rent shall commence for the CBSE Academic year plan 2024-2025. It is also mutually agreed that whenever there would be requirement for additional area the date of handover of the then required area of the premises would commence from 1st march of that year and for the mutually agreed period from time to time under lease agreement to be registered then for that area

6. SECURITY DEPOSIT AND RENTAL ADVANCE

- 6.1. The Lessee agrees to deposit a interest free security deposit with the Lessor, an amount of **Rs.2,10,00,000/- (Rupees Two Crores Ten Lakhs only)** but to be paid in phase wise manner as under

- i) Phase-I - Rs.1,26,00,000/- Before beginning of 2024-25 Academic year
- ii) Phase-II - Rs.42,00,000/- Before beginning of 2025-26 Academic year
- iii) Phase-III - Rs.42,00,000/- Before beginning of 2026-27 Academic year

- 6.2. It is also mutually agreed that the lessee will pay rental advance at par with the interest free security deposit and this advance and security deposit will be credited to the account of Lessor. The rental advance is given only as a financial help to the Lessor in order to share the financial burden of Lessor and the funds shall be strictly utilized for construction activity only. The Lessee shall have the right to adjust/deduct rental advance amount from initial twelve months rent payable, to the extent of differential built up area in SFT that may find in the Joint Measurement Report after construction.

6.3. MODE OF REPAYMENT/ADJUSTMENT:

- a) Out of the total deposit, an amount of Rs.1,05,00,000/- (Rupees One Crore and Five Lakhs only) which will be treated as an advance and will be adjusted in 24 months rents equally from commencement of the lease period (i.e. Phase -I advance from 01-03-2024, Phase -II advance from 01-03-2025 & Phase - III advance from 01-03-2026).
- b) Remaining amount of Rs.1,05,00,000/- (Rupees One Crore and Five Lakhs only) which will be treated as an interest free refundable security deposit and will be adjusted in monthly rents before termination of the lease period.

- 6.4. The Lessee shall hand over the Schedule Premises on the day of expiry of this Deed or earlier termination as the case may be, simultaneously against the Lessor refunding the entire amount of the Security Deposit to the Lessee. In case, the Lessor fails to refund the same, the Lessor shall be liable to pay interest thereon calculated at the rate of 18% per annum to the Lessee. Further, the Lessee shall also have the right to continue to use and occupy the Schedule Premises without being liable to pay any Rent or other charges in respect of the Schedule Premises to the Lessor or any governmental body or authority, till receipt by the Lessee of the entire amount of the Security Deposit with interest thereon calculated at the

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rate of 18% per annum for the period commencing from the due date of refund of the Security Deposit till the date of payment thereof to the Lessee. In case Lessee refunded the security deposit and still the Lessee fails to vacate the schedule premises then Lessee will be liable to pay penalty rate of double the schedule applicable at the point of time from the date of vacation or eviction whatsoever the case

7. SIGNAGE

The Lessee shall have the right to use, affix, display or exhibit any name plates or any writings or any sign boards, sky signs, neon signs or advertisements, with or without illumination or otherwise, on or from the Schedule Premises, subject to local Laws, the absolute ownership of which shall remain that of the Lessee, and clear of any claim by the Lessor. The Lessee shall bear the cost of installing any such signage on the Schedule Premises. For avoidance of any doubt, it is clarified that the Lessor shall not charge any rent or any amount whatsoever from the Lessee for putting up or installing any signage pursuant to this Clause except any charges as imposed by any Governmental Authority for affixing or exhibition of such signage. However, Lessee is not permitted to do commercial exploitation of such advertisements.

8. RIGHTS AND DUTIES OF THE LESSEE

- 8.1. The Lessee shall pay the rent in the manner stated herein or as mutually agreed between the Parties and duly recorded in writing.
- 8.2. The Lessee shall bear and pay electricity and water bills etc. in respect of the Schedule Premises for the Lease Term as per the meter readings and bills issued by the relevant Governmental Authorities. However it is mutually agreed to the property tax on the Schedule Premises the Lessee shall re-imburse such municipal tax, to a maximum of Rs.5/- per sq. ft, irrespective of its actual rate of imposition and the remaining charges/taxes if any shall be borne by the Lessor. It shall be responsibility of lessor to first pay the tax and produce the copy of the payment receipt for claiming the re-imbursement.
- 8.3. That the Lessee shall undertake the maintenance of 5 HP submersible motor electrical pump set provided in the tenant's premises.
- 8.4. The Lessee shall not use the Schedule Premises for any purpose that is prohibited under Law.
- 8.5. The Lessee shall be entitled to make certain Improvements to the Schedule Premises which does not include addition and alteration in the basic structure of the premises, to suit its requirements, from time to time. The Improvements to the Schedule Premises shall be as per the applicable Laws.
- 8.6. The Lessee on completion of the lease duration or early determination thereof or on completion of the extended lease duration, the schedule premises will be handed over to the Lessor with a normal depreciation that is subjected usual wear and tear that occurs as a result of using the leased premises is acceptable.

9. COVENANTS OF THE LESSOR

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The Lessor hereby make the following covenants to the Lessee:

- 9.1. The Lessor shall not seek to sell or transfer or alienate its rights in the Schedule Premises as a whole or in any part or parts thereof or create any Encumbrance whatsoever on the Schedule Premises during the lease term without the prior written intimation of the Lessee. Provided that Lessor will not create third party interest in the said premises unless the new incumbent agrees to continue the lease agreement for remaining period.
- 9.2. That the building should be constructed in accordance with Chapter 3 (Land Requirement) and Chapter 4 (Physical Infrastructure) of CBSE Affiliation Bye-Laws, 2018. Also, ensure compliance with following:
 - a) Guidelines issued by Hon'ble Supreme Court in Writ Petition (Civil) No. 483 of 2004 in the matter of Avinash Mehrotra (Petitioner) Versus Union of India & Others.
 - b) School Safety Policy, 2016.
 - c) Manual on Safety and Security of Children in Schools.
- 9.3. The Lessor shall promptly defend at its cost, any actions or claims brought in respect of the Schedule Premises by any third party on account of any legal defect in the title of the Lessor, and keep the Lessee indemnified against the same.
- 9.4. The Lessor shall provide prompt notice to the Lessee of all future communications, notices and inspections, if any, received from any Governmental Authority or any other person in respect of the Schedule Premises including any claim, litigation, proceeding or investigation which becomes known to the Lessor at any time during the Lease Term.
- 9.5. The Lessor shall raise no objections for the Lessee undertaking any educational activities from the Schedule Premises or entering into any third party agreements for the purpose of undertaking any educational activity from the Schedule Premises.
- 9.6. The Lessor confirms and agree that the Lessee shall be entitled to make Improvements, at its own cost, to the Schedule Premises and renovate the Facilities available to the Schedule Premises, from time to time, as may be necessary or required by the Lessee for the proposed activities of the educational institution, without requirement of seeking the prior approval of the Lessor in that regard.
- 9.7. The Lessor shall acknowledge and give valid receipts for each and every payment made by the Lessee to the Lessor or to its order and such receipts, duly stamped and signed by the Lessor or its duly authorized agent, shall be conclusive proof of such payments.
- 9.8. The Lessor shall ensure that an entrance and passage of suitable width is provided to the Lessee for ingress and egress from the Schedule Premises connecting the Schedule Premises to the public road, without causing any hindrance or obstructing the free movement. The entrance and passage so provided shall be for the exclusive use by the Lessee, its employees, visitors, students, staff, agents and contractors.

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If the Lessor construction of the building or handing over of the same is behind stipulated time as agreed under this Lease Deed as per clause No.3.1, then the Lessee is entitled to claim interest from the Lessor on the amount paid at the rate of 18% per annum on the amount deposited till the actual possession is handed over and the Lessee shall have exclusive right to cancel the proposal besides claiming damages for the actual loss occurred due to nonfulfillment of Lessor's obligations.

- 9.10. The Lessor shall be responsible for undertaking all the major repairs and renovations in respect of the Schedule Premises including colouring/painting of issues with seepages, leakages, construction quality related issue, etc. and shall undertake all actions once in four years to maintain the Schedule Premises in a good state, at Lessor's own cost. In the event the Lessor fails to undertake any such repairs/renovations, then the Lessee shall be entitled to undertake the same by itself with an intimation to the Lessor. In such case, the cost incurred by the Lessee shall be reimbursed by the Lessor and the Lessee shall be entitled to set-off and deduct such cost from the Rent payable for subsequent months.
- 9.11. The Lessor shall, for the Lease Term, ensure electrical power connection of 20 KVA with high tension connection, separate electrical transformer (installed by the Lessor at the time of occupation), sufficient and continuous municipal drinking water supply, drainage connections and fire extinguishers and fire safety equipment for the Schedule Premises, at the Lessor's own cost. All the necessary electrical deposits shall be borne by the Lessor. In the event any costs relating to any of the aforesaid have to be borne by the Lessee, such costs shall be reimbursed by the Lessor and the Lessee shall be entitled to set-off and deduct such cost from the Rent payable for subsequent months.
- 9.12. During the subsistence of the lease and the renewed term, the Lessor shall ensure that the schedule premises shall have water supply to the schedule premises at all time. That the Lessor shall provide the supply of required drinking / utility water through municipal connection and bore wells. The required bore wells with 3 HP submersible motors should be provided by the Lessor.
- 9.13. The Lessor agrees to provide electrical wiring, for the entire building including the rooms, bath rooms, passages, corridors, staircase cellar and terrace. And should provide telecom, internet cable wiring to all the rooms. The Lessor should provide good quality switch and plug socket boards with safety measures for children, as per the requirement and requisition of the Lessee.
- 9.14. That the Lessor agrees to provide all rooms and corridors with vitrified floor flooring and bath room flooring with antiskid and wall with glazed ceramic tiles up to 4 feet. The staircases to be finished with polished Granite or Kotha stone. The doors and window frames shall be provided by the Lessor. The laminated flush doors and UPVC windows with mosquito mesh and ventilators with exhaust fan provision shall be provided by the Lessor. Total building should be finished with double coat cement plastering and further interiors to be finished by wall care putty and painting and exterior with texture, putty or smooth plastered wall with exterior grade paint as per the request of the Lessee has to be completed by the Lessor.
- 9.15. The Lessor agrees to provide water supply and sanitary connections, bathroom fittings, Sanitary ware, W.C., urinals, wash basins, mirrors, bathroom accessories

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taps, showers, etc., and shall supply plumbing, sanitary and bathroom accessories and materials of reputed brands.

- 9.16. The Lessor agreed that they shall not install towers such as Cell phone & TV etc., on the terrace of the building or in the school premises.
- 9.17. The Lessor agrees to provide a compound wall of 8 feet height around the buildings with the gates erected at the required areas.
- 9.18. The Lessor agreed to build the staircases from both sides of the building.
- 9.19. The Lessor shall provide adequate rent free parking area as a part of the Schedule Premises as per the details set out in **Schedule C**.
- 9.20. The Lessor shall provide drainage line, waste water treatment plant/septic tank of required capacity at the Schedule Premises, so that the drainage water can be diverted to nearby drain without any complications for the adjoining premises or Governmental Authorities.

10. DUTIES AND TAXES

- 10.1. The Lessor shall be responsible for payment of all past, present and future municipal taxes including property tax as mentioned in 8.2, income tax and other taxes, assessments, cess and other charges and all outgoings (collectively referred to as "**Property Taxes**") imposed or levied upon or in respect of the Schedule Premises at all times and the Lessee shall have no liability whatsoever in this regard. The Lessor hereby agrees to keep the Lessee indemnified at all the times with respect to the Property Taxes. Further, the Lessor shall be solely responsible for all property tax assessments. In case during the Lease Term, any future Property Taxes are imposed on the Schedule Premises, the same shall also be solely borne by the Lessor.
- 10.2. In the event Lessee is required to pay or bear any present or future Property Taxes due to the default of the Lessor to pay the same, and the Lessor fail to promptly reimburse the same to the Lessee, the Lessee shall be entitled to adjust the same against the Rent payable to the Lessor.
- 10.3. The Lessor shall provide a copy of GST registration certificate to the Lessee for its office records. The monthly rent along with GST will be paid by the lessee to the Lessor, subject to submission of the original GST invoice duly signed by the Lessor every month on or before 25th day of calendar month along with a copy of proof of GST return filed for the preceding month/ period viz., both GSTR-1 and GSTR-3B.
- 10.4. The Lessor is not entitled to claim or demand for the payment of GST arrears without submission of proper invoice on monthly basis.

11. REPRESENTATIONS AND WARRANTIES

- 11.1. Each Party represents and warrants to the other Party that:

11.1.1. It/he has the power and authority to execute and deliver this Deed and upon execution and delivery of the same, it shall be a legal, valid and binding obligation of the said Party enforceable in accordance with its terms

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The execution and delivery of this Deed has been duly authorised by necessary corporate actions/approvals, where applicable; and

- 11.1.3. The execution and performance of this Deed by such Party does not violate any applicable Law or violate or contravene the provisions of or constitute a default under any of its constitutional documents or any documents, contracts, agreements or other instruments to which it is a party or which is applicable to it.
- 11.2. The Lessor hereby make the following representations and warranties, each of which is deemed to be material and each of which is stated by the Lessor as being true and correct on the date hereof and shall continue to be true and correct during the Lease Term:
- 11.2.1.1. The Lessor has valid, clear and marketable title to the Schedule Premises and that the Lessor is duly entitled to lease the Schedule Premises and grant the rights in relation thereto unto the Lessee in the manner provided in this Deed;
- 11.2.1.2. The Lessor has not received any notice from any Governmental Authorities having jurisdiction over or affecting the Schedule Premises in respect of the Schedule Premises;
- 11.2.1.3. The Schedule Premises can be used by the Lessee for the purpose for which it is being leased as per this Deed;
- 11.2.1.4. The Schedule Premises is free from all Encumbrances;
- 11.2.2. There is presently no *lis-pendens*, claim, attachment, action, litigation, arbitration, demand, acquisition, reservation, prohibitory order, set-back, garnishee or other proceeding pending against the Lessor and relating to the Schedule Premises or the transactions contemplated hereby;
- 11.2.3. There are no leases or other agreements permitting usage/occupancy of the Schedule Premises, nor has the Lessor entered into any course of conduct which would permit any Person a right to occupy any portion of the Schedule Premises or otherwise affecting the Schedule Premises or any part thereof;
- 11.2.4. The Lessor has, in respect of the Schedule Premises and the structures thereon, obtained the approved building plan, construction permission, sanitary certificate, structural soundness certificate, pipe linings for fire safety equipment installation, fire safety certificate, municipal occupancy certificate and other municipal departments(s) etc., as per the requirement of the Lessee for obtaining recognition/registration of the proposed educational institution, at the Lessor's own cost.
- 11.2.5. The Lessor has made no commitment to any third party, governmental or quasi-governmental entity or other Person, which commitment relates to the Schedule Premises or imposes upon the Lessor or the successors or assigns of the Lessor any obligation to pay or contribute property or money or to construct, install or maintain any improvements on or off the Schedule

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Premises or which could affect the ability of the Lessee to use and occupy the Schedule Premises in the manner provided in this Deed; and

12. INDEMNITY

Each Party ("Indemnifying Party") hereby indemnifies and agrees to indemnify, defend and hold harmless, the other Party, its directors, officers, employees and agents ("Indemnified Party") from and against any and all Losses incurred or suffered by the other Party directly or indirectly arising out of (i) inaccuracy in or breach of any representation and/or warranty of the Indemnifying Party contained in this Deed; (ii) breach of any of the covenants of the Indemnifying Party under this Deed.

13. TERMINATION AND CONSEQUENCES

13.1. Termination by the Lessee:

13.1.1. The Lessee, in its absolute discretion, shall have a right to terminate this Deed if:

13.1.1.1. the Lessor is in breach of its representations, warranties, undertakings or covenants under this Deed, and has failed to remedy such breach within Forty Five (45) days of receipt by the Lessor of a written notice of demand by the Lessee to do so; or

13.1.1.2. due to delay in completion of the Fit-Out Works as per Clause 5.2; or

13.1.1.3. the Lessee being unable to obtain any Governmental Approval or recognition or affiliation for the proposed educational institution from the concerned Governmental Authority, departments or education boards on account of the Lessor's failing to provide any certificates or documents or Governmental Approvals required to be obtained by the Lessor in respect of the Schedule Premises or otherwise as per the terms hereof; or

13.1.2. The Lessee shall be entitled to terminate the Deed, with the valid reason, anytime during the lease period by providing at least Six (6) month's, or completion of academic year whichever is later to the Lessor, prior notice in writing but only after completion of initial lock-in period of Ten (10) years,.

13.1.3. Upon the termination of this Deed by the Lessee, for any reason as stipulated herein:

13.1.3.1. The Lessee shall be entitled to (but have no obligation to) remove all its Improvements and belongings therefrom, including, any fixed assets, equipment, furniture, furnishings, wiring, interiors, fixtures, fittings, etc. then existing;

13.1.3.2. The Lessor shall refund to the Lessee any other amounts payable by the Lessor as on the effective date of termination.

13.2. Termination by the Lessor:

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13.2.1. The Lessor intends to evict the Lessee from the premises, it can do so by giving 3 months' notice in writing in advance only after completion of initial lock-in period of ten (10) years without disturbing the academic year.

14. NOTICES

- 14.1. Any/all notices ('Notice') shall be written in English and shall be delivered by hand delivery or courier or prepaid registered post with acknowledgement due to the addresses mentioned above to whom such Notices are being given.

15. REGISTRATION AND STAMP DUTY

- 15.1. The Lessor and the Lessee shall bear and pay the cost of stamp duty as registration charges on this Deed in equal shares (i.e. 50% Lessor and 50% Lessee). The Lessor shall facilitate for the process of registration of this Deed.
- 15.2. The original stamped copy of the Deed shall be kept with the Lessee and notarised photocopy of the Deed shall be handed over to the Lessor.
- 15.3. Each Party shall bear its own legal costs and professional fee of their respective counsel.

16. GOVERNING LAW

- 16.1. This Deed shall be governed and construed in accordance with the Laws of India. Subject to the provisions of Clause 17 below, the Parties agree to submit to the exclusive jurisdiction of the courts of June jurisdiction in connection with a dispute arising out of or in connection with this Agreement.

17. DISPUTE RESOLUTION, GOVERNING LAW, JURISDICTION OF COURT


- 17.1. If any dispute arises out of or relating to this Deed between any of the Parties hereto ('Disputing Parties'), during the subsistence of this Deed or thereafter, in connection with the validity, interpretation, implementation or alleged breach of any provision of this Deed or regarding any question, including the question as to whether the termination of this Deed by any Disputing Party hereto has been legitimate ('Dispute'), the Disputing Parties hereto shall endeavour to settle the Dispute amicably. The attempt to bring about an amicable settlement shall be considered to have failed as soon as one of the Disputing Parties, after reasonable attempts, which attempt shall continue for not less than 30 (thirty) days, gives notice recording such failure to the other Disputing Party, in writing and then resort to civil court having jurisdiction to the leased premises.

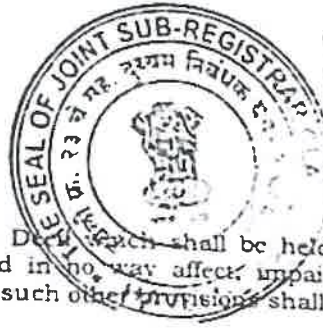
18. ENTIRETY

This Deed contains all of the terms and conditions agreed by and between the Parties hereto with respect to the lease of the Schedule Premises under reference and no prior agreements or understanding pertaining to any such matters shall be effective for any purpose.

19. WAIVER AND SEVERABILITY

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- 19.1. Any provision of this Deed which shall be held invalid, void or illegal shall be deemed severable and in no way affect, impair or invalidate any of the other provisions hereof and such other provisions shall remain in full force and effect.
- 19.2. Failure of either Party to enforce at any time or for any period of time the provisions hereof shall not be construed to be waiver of any provisions or of the right thereafter to enforce each and every provisions hereof.

20. SPECIFIC PERFORMANCE

To the extent permitted by law, the rights and obligations of the Parties under this Deed shall be subject to the right of specific performance and may be specifically enforced against a defaulting Party.

21. AMENDMENTS

The option of adding or amending certain clauses in the Lease Deed is permissible with mutual consent of the both the parties.

SCHEDULE -A DESCRIPTION OF SCHEDULE PREMISES

All that the part and parcel of the proposed premises admeasuring 25,000 Sq.ft. of built up area consisting Ground + Two floors building to be constructing on the land admeasuring 4390.39 Sq.mtrs, bearing Plot No.52, covered under Survey Number 40/1/1/2/40/1/2 to 6/Plot No/52, situated at Undri Village, Haveli Taluka, Pune District, Maharashtra is bounded as follows:

North by	:	Internal 12 Mtrs Road
South by	:	Tanishq 1 & Sy.No.40/1/2
East by	:	Open Space
West by	:	18 Mtrs Main Road

SCHEDULE -B

All that the part and parcel of the proposed premises admeasuring 25,000 Sq.ft of built up area consisting Ground + Two floors building to be constructing on the land.

WITNESS WHEREOF the Parties hereto have executed this Deed the day and year first herein above written.



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SIGNED AND DELIVERED BY THE
WITHIN NAMED 'LESSOR'
MIND AND NATURE ASSOCIATES
Through Its Authorized Partners;
MIND AND NATURE CONCEPTS LLP
represented through the designated partner
MS. NIKITA RATANLAL DAGDIYA

Sign

NARAYANA EDUCATIONAL TRUST

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SECRETARY



MR. BABASAHEB BHAGWAN ATKIRE

Sign

Babasaheb



MR. SATISH KISANLAL SONI

Sign

[Signature]



MR. SAHIL RAJESH DAGDIYA

Sign

[Signature]



MR. SANJAY VISHWANATH KULKARNI

Sign

Sanjay JV

Left Hand Thumb Impression



SIGNED AND DELIVERED BY THE
WITHIN NAMED "LESSEE"
NARAYANA EDUCATIONAL TRUST

MR. V. SRINATH
AUTHORIZED SIGNATORY

Sign

[Signature]

WITNESS NO. 01;

Sign

Mr. Parash Malibhe

R/at: Parash Malibhe

WITNESS NO. 02;

Sign

Mr. G. Rama Mohan Reddy

R/at: Nagpur



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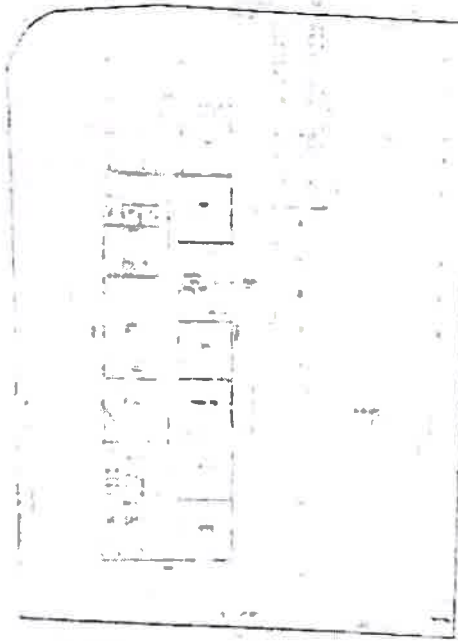


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SCHEDULE B SITE PLAN SHOWING PLOT NO. [.]

[Site Plan Diagram]

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Plot Area: [.]



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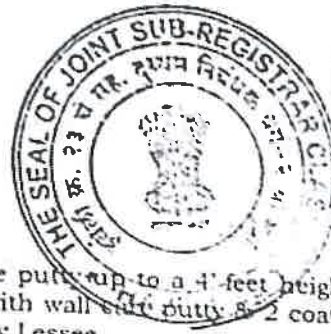
२० SCHEDULE - C

DESCRIPTION OF BUILDING, FACILITIES AND UTILITIES SITE

- The access road for site and buildings not less than 40' (preferably B.T or C.C road) and internal circulation pathways and roads to be defined with curbstone and proper finish (B.T, interlocking pavers or C.C roads, etc.) with rainwater drain provision.
- A sturdy **Compound wall** of height 8' (minimum) with 2'-6" height barbed wire fencing cleanly finished and painted.
- Entrance gate** of Minimum 18' Feet wide for vehicle movement and 5' Feet wide gate with security room for two people seating with electrical and internet facility. Toilet provision to be made separately.
- Yard lights** with led fixtures all around the building and site for visibility and security at night.
- Building plinth protection** of 3' Feet wide & 4" inch thick with outward sloping around the lower building than the plinth level. It would be better if the plant boxes and landscape is avoided touching the building.
- The **setbacks** around the building to be paved, Concreted or leveled properly with no obstructions for vehicular movement and proper drains to be provided for rainwater. Vacant Land within the Compound should be properly leveled and rainwater drain provisions to be made.
- Transformer yard, Bore wells, power panels, U.G sump, septic tank, etc. are to be **guarded and secured** with proper fencing & locking system.
- Rainwater harvesting pits & overflow drain** to be provided as per the requirements.
- Drains, inspection chambers, earth pits and manholes** to be provided with proper covers for easy maintenance.
- Septic tank and Permanent sewerage line** for the exit of wastewater from the site to the nearest naala or main sewer line of the locality to be provided as per the occupancy load. In the absence of the above, **Sewage treatment plants** to be designed as per the occupancy load and recycled water to be used for flushing system, gardening, and groundwater recharge.
- A good ventilation for **Diesel generator shed** to be provided with proper movement space around D.G with a sturdy base, roof, side walls & grills with a door for easy access & security.
- Landscaping** with a plantation of trees along the compound wall, plant box to be provided with a plants all along the compound wall as required.

BUILDING

- The structure has to be **designed** as per the required utility.
- The **RCC frame structure** executed at the site should be as per the approved structural drawing and specifications from a reputed firm (depth of reinforcement, grade of concrete, clear cover etc.,)
- Minimum **clear height** from slab to slab should not less than 11 (minimum) feet
- Proper **compaction of soil** to be done at the plinth level and any other soil fill areas.
- Minimum **height of the plinth level** to be 2' Feet or as required so that the proper slope for drainage system can be achieved.
- All **exterior walls** of the building should be (minimum) 9 inches thick or above with cement plaster & finished with External Texture paint with weatherproof paint & internal paint at room finish. Paint colour will be finalized by Lessee.
- All **internal walls** should be (minimum) 4.5 inches thick or above properly finished with cement plaster. If the walls are (minimum) 4.5 to 6 inch thick there should be RCC bands or stiffeners of 3 inch thick at every 3 feet height. Walls must be



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finished with wall care putty up to a 4' feet height of enamel paint and above the wall is to be finished with wall care putty & 2 coats of primer emulsion paint. Paint color will be finalized by Lessee.

- All **RCC members** to be hacked as required before plastering.
- All **joints** between masonry and RCC members along with electrical, plumbing and any chiseled grooves with pipes to be packed with a rich mortar and chicken mesh and finally plastered.
- Proper **curing** for the required number of days to be done for each stage of concrete work.
- **Doors for classrooms** must be 4' wide and height 7'-0" Feet and above with a frame cross-section of size 3"x4" Feet with a minimum of three holdfasts on either side, the frame must be inserted into a masonry of 8" Feet thick and above with proper packing of holdfasts, the frame to be treated with anti-termite chemicals and bituminous paint as required. **Laminated Flush Doors** of the branded company with proper hardware and finish to be fixed which are sturdy and durable.
- **Doors for toilets** must be 2'-6" / 2'-9" Feet width and height 6'-9" Feet and above with Wooden frame cross-section of size 2.5"x4" inch with a minimum of three holdfasts on either side, the frame must be inserted into a masonry of 4.5" Feet thick and above with proper packing of holdfasts, the frame to be treated with anti-termite chemicals and bituminous paint as required. **Laminated Flush Doors** or **WPC doors** Resistant to water of branded company with proper hardware and finish to be fixed which are sturdy and durable.
- Powder coated **Aluminum windows** with proper locking and sliding system with the provision for a mosquito net and the thickness of the cross section of the frame not less than 1.5mm thick/ UPVC sliding windows of the reputed company with mosquito net and drain provision. All Windows to be provided with grills which are sturdy and easy for maintenance.
- **Ventilators for toilets** are to be of the desired size with louvers and exhaust fan provisions.
- **Corridors** which are lengthy having no direct ventilation other than the ends provision to be made from the rooms by ventilator or window.
- All **access points** into the building to be provided with secured doors, steps, canopies, and sunshades.
- **Windows** to be protected by proper sunshades or any sort of elevation treatment to protect from sun and rain.
- All **balconies** passages and **corridors** where the possibility of flooding in the rainy season to be waterproofed and drain system to be provided.
- **Open courtyards, ventilation shafts, and ducts** to be provided with an appropriate flooring finish and drain system at the ground level and if covered on the upper levels the purpose has to be served. Corridors width is 8' feet to 10' feet minimum.
- **Provision for access** to be made for any space which is inaccessible (staircase headroom, overhead water tank, U.G sump, ducts etc... for maintenance.
- **Terraces** to be waterproofed with provision for rainwater pipes with gratings. Terrace surface to be free from any pipelines, cables, etc... obstructing the water flow to the drain point.
- **Sewer lines and wastewater lines** to be segregated from each outlet and connected as per the disposal system. Connecting of all floor pipes to slope pipe should be min 8 inc dia. **External Pipe** Min 1 foot dia to provide for connecting Septic tank with **Man holes** at every 20 feet distance.
- All **pipes** vertically placed to be properly clamped with the necessary fixtures which are sturdy and easy for maintenance.

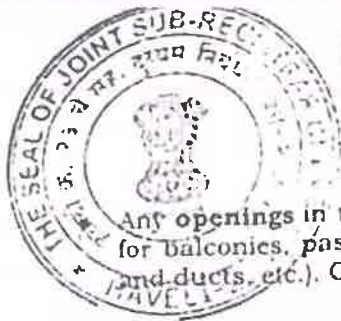
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Any openings in the building for the security of the students to be addressed (grills for balconies, passages with single side rooms, openings provided into courtyard and ducts, etc.). Grills for windows to be provided.

INTERIORS

- **Flooring and skirting** for rooms and corridors, including lobbies to be finished with vitrified tiles of desired size and reputed make or with polished granite, kotha or marble stone of desired thickness cleanly polished with proper joints and levels with no cracks and damages. Any of the above floorings laid to be durable and aesthetically good.
- **Common Toilets and Bathrooms** and any areas exposed to water to be waterproofed with a base coat with a concrete strip of 3" or 4" thick all around below the wall with a slope towards a point and spout provided at that point and final waterproofing course after fixing of nanitraps, wastewater lines and sewer lines. Waterproofing coating to be an extended minimum of 1' height onto the wall surface of the final finishing level. Walls to be clad with ceramic Glazed tiles up to a height of 7' Feet and above wall is to be finished with wall care putty & 2 coats of enamel paint. Flooring with anti-skid tiles with desired slopes and wall cladding with glossy tiles easy for maintenance. Tile to be finished with epoxy grout with a proper finish at nanitraps and joints, any dampness found at any stage of work to be rectified and waterproofing should be guaranteed for at least two years.
- **Walls to be finished** with wall care putty, primer and two coats paint to desired smooth finish. Ceilings to be finished with primer and two coats of paint. Cracks patchworks etc. To be finished before the final coat of paint.
- **Laminated flush Doors/doors and door frames** to be smoothly finished with primer, putty and two Coats of enamel. Colors matching the wall or door as desired.
- **The exterior of the building to be finished** with texture/putty with apex/ Ultra grade paint of specified colors free from maintenance.

REQUIREMENTS

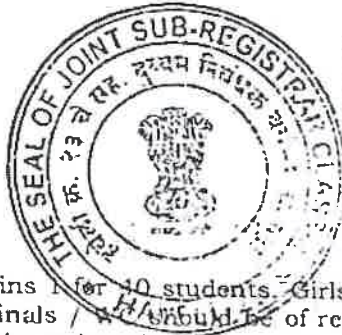
- **Overhead water tank** to be RCC or as desired free from leakages, seepages and dampness etc. with inspection cover easily for maintenance having provisions for cleaning. The base of the tank should not be placed directly above the slab of terrace. The capacity to be not less than 45lts/day/occupant for day campuses.
- Along with the **overhead water tank provision** to be made even for a firefighting tank of required capacity as per the approved plan.
- **UG sump** to be provided at the ground level with a capacity of 50% that of overhead tank as per the groundwater availability. **UG sump** with 5 inch Motor & 1 inch CPVC Pipe line
- **All inlets and outlets** of the tank including the overflow pipe, to be clamped for vertical surfaces and elevated from horizontal surfaces.
- **R.O plant provision** to be made on a terrace for a given size of the room as specified, with a drinking water tank capacity of 5lts/occupant/day.
- **Drinking water provision** from R.O plant to be made on all floors of the building where ever necessary with power points and drain provisions for the water dispensers. 1 tap for 50 students
- **Hot water provisions** to be made for all bathrooms from a centralized unit from terrace or as desired. Any external points provided other than in the bathroom should have a proper enclosure with drain provision.
- **Day schools Urinals** in common toilets for boys 1 for 20 students wash basins 1 for 60 students and W.C 1 for 40 students and for girls WC and urinals 1 for 25

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students and wash basins for 10 students. Girls and boys toilet to be separated from each other. All Urinals / Wash basins to be of reputed brands and approval from Lessee to be obtained prior to installation.

- For schools Provisions of **staircases and doorways** are as per the firefighting norms. (Minimum of 2 staircases of width 1.5mts with a maximum accessible distance of 30 mts, fire Hydrants, fire extinguishers, etc...)
- **Playground area** to be considered based on below criteria
 1. 250 sq. mtr of area + 1 sq.mtr. For every student on the rolls (for a middle school).
 2. 500 sq.mtr of area +1 sq.mtr. For every student on the rolls (for a Secondary school).
 3. 750 sq.mtr of area +1 sq.mtr. For every student on the rolls (for a Senior Secondary school).
 4. Play areas to be elevated higher than general ground level with Base preparation as per requirements and proper drain provisions to be provided.
- **Play court** must be well treated and maintained with drain lines.
- Minimum 8% TO 10 % of **Ventilation** is required per Room based on total floor area of rooms.
- In case of new schools, the front boundary wall shall be recessed by 6 mt. to accommodate visitors **Parking** within setback area.
- **Cable Trays or Cable trenches** to be provided as per required for easy maintenance and non-hazardous.

PLAY FIELD

- Preparation and consolidation of sub grade (thickness of 250 mm) with power road roller of 8 to 12 tonne capacity after Filling earth, dressing to camber and consolidating with road roller including making good the undulations etc.
- Supply and laying hard stone soiling 230mm thick with a course of mooram laid in 50 mm thick coarse and required profile with hammer dressed including preparing the bedding surface etc. complete as per specifications and instructing of the Project Manager.
- Providing and laying in position machine batched and machine mixed design mix M-25 grade cement concrete for reinforced cement concrete work, using cement content as per approved design mix, including pumping of concrete to site of laying but excluding the cost of centering, shuttering, finishing and reinforcement, including admixtures in recommended proportions as per IS: 9103 to accelerate, retard setting of concrete, improve workability without impairing strength and durability as per direction of Engineer-in-charge.
(Note :- Cement content considered in this item is @ 330 kg/cum. Excess/ less cement used as per design mix is payable/recoverable separately).
- Providing and laying factory made chamfered edge Cement Concrete paver blocks in foot path, park & lawns driveway or light & traffic parking etc. of required strength, thickness & size/ shape, made by table vibratory method using PU mould, laid in required colour & pattern over 50mm thick ompacted bed of course sand, compacting and proper embedding/laying of inter locking paver blocks into the sand bedding layer through vibratory compaction by using plate vibrator, filling the joints with sand and cutting of paver blocks as per required size and pattern, finishing and sweeping extra sand, all complete as per manufacturer's specifications & direction of Engineer- in-Charge. 80mm thick Cement concrete paver block of M-40 grade with approved colour, design & pattern.
- Play courts base to be done with proper compaction of soil above which we need 4-6 inch of wet mix / gsb layer based on the soil condition and pec (M15) of 3-4 inch M25 concrete above it with 10mm steel of 150mm c/c with VDF finish.

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• Pavement/stamped concrete should be laid all around the area in between the road and the site location.
• Have a min-width of 5 feet with proper walkway and actual plan may vary based on the site location.

Maintenance works:

Every four years all maintenance pertaining to Civil / Electrical / Plumbing are to be done at owners cost.

Septic tank Size Rational Method:					
Person's	A. Sedimentation Volume Required (M3)	B. FREE BOARD (M3)	C. Sludge Digestion (M3)	D. Storage of Digested Sludge (M3)	Septic tank Size Rational Method (M3)
100	5	5	3	8	21
200	10	10	7	15	42
300	15	15	10	23	63
400	20	20	13	31	84
500	25	25	17	38	105
1000	50	50	33	77	209
1500	75	75	50	115	314
2000	99	99	66	153	418
2500	124	124	83	192	523
3000	149	149	99	230	627

NOTE : Min Depth of Septic tank in Meter = 1.7m

Over Head Water Tank Capacity Required					
Day schools			Boarding Schools		
Persons	Liters	Total Capacity Required (Lrts)	Persons	Liters	Total Capacity Required (Lrts)
100	45	4500	100	135	13500
200	45	9000	200	135	27000
300	45	13500	300	135	40500
400	45	18000	400	135	54000
500	45	22500	500	135	67500
1000	45	45000	1000	135	135000
2000	45	90000	2000	135	270000

Under Ground Water Tank should be 50% Of Over Head Water tank Capacity & Firefighting tank capacity

ELECTRICAL SPECIFICATIONS

ELECTRICAL SYSTEM

- Sub Station - including transformer, associated switchgears and 11 KV cabling up to the site boundary
- LV cabling from Sub-Station to Main LV Panel.

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- LV Panel, SMDBs, Meter Board and Distribution Boards.
- Lighting system for internal common areas, Residential area and associated areas like ramps, parking & staircases etc. and external areas of the building.
- Small power distribution including small power outlets, wiring and accessories for common areas, Commercial areas and associated areas like parking etc.
- UPS power system including UPS units, UPS DBs and associated wiring for Projectors, Desktops Router etc. and wiring devices wherever required.
- Emergency lighting system with Inverter power for common areas.
- Generator supply for Common areas entire building. This will include Generator necessary cabling and associated controls.
- Grounding System for all Electrical systems and equipment & Building Lightning Protection System Details.
- Options to be provided for Solar Power source & Net Metering.
- Power distribution for all MEP Related Equipment and other related equipment in the building.
- Support and documentation for local authorities to obtain necessary approval for services connection (This will be only preliminary in Principal Approval. Actual approval to connect / energize / activate the services connection will need to be taken by the contractor/Client assigned for the project during construction phase). Liaisoning and coordination will be carried out by personnel to be employed by Lessee.
- Providing Rubber Mats in Electrical Rooms, Panel Rooms etc.
- AC provisions Includes Wiring, Switch & Socket provisions with MCB Protection and Sleeves provision for Copper piping and Drain outlet with outdoor unit covering in Elevation.

FIRE DETECTION/FIRE ALARM / FIRE FIGHTING SYSTEM

- Fire Fighting System as approved by DGFS/as per NBC.
- Fire Alarm System complete with panel, repeater panel, Mimic devices and wiring details.
- Fire Protection system design complete with fire pumps, hose reel, dry/wet riser, and sprinkler as required, external fire hydrant system within the project plot premises if required. Fire protection system will be provided to meet NBC 2016 requirements and standards.
- Public Address System.
- Exit Signage.
- Fire Extinguishers.
- Support and documentation includes Preparation of Drawings and approvals regarding Fire NOC.

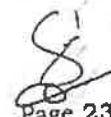
COMMUNICATION/SECURITY SYSTEMS

- Telephone / Internet Networking
- Cable TV Networking
- Security Systems such as CCTV Cameras, Access Control Systems(Premium) and wicket Gates etc. as required.

HVAC SYSTEMS

- HVAC system for the proposed development normally designed to meet ISHRAE/ASHRAE guidelines and other applicable standards and codes followed in India and for this type of application.
- VRV/VRF System for Olympiad campus where there are multiple outdoor units.

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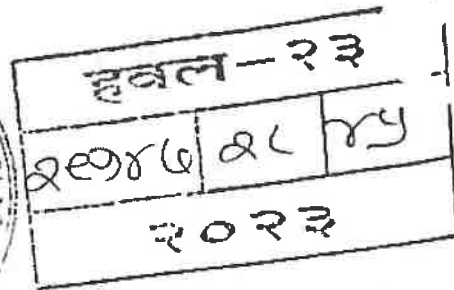
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System will be designed with DX type with distributed air handling units or VRF using distributed indoor units, based on the technical and commercial feasibility. Mechanical extract system for toilets, kitchens and other areas where extra mandatory ventilation system shall be designed to meet during normal an conditions.

- Air distribution system within air-conditioned areas of the proposed development, ISHRAE/ASHRAE and meeting IS 655 guidelines.

ACCEPTED MAKES OF MATERIALS		
1	MCCB / ACB	ABB / MERLIN GERIN- SCHNIDER / LEGRAND / L&T
2	HT/LT CABLES	UNIVERSAL/ POLYCAB / SBEE / UNICAB / KEI
3	CABLE GLANDS	SUNIL/HMI/BRACO/COMET/DOWELLS
4	CABLE LUGS	DOWELL/3D
5	HRC FUSES/BASE	GE/ OR APPROVED MAKE/L&T
6	SWITCH FUSE UNITS	HPL/L&T/C&S / GE
7	SPEAKERS	PHILIPS / AHUJA
8	INDICATING METERS	AE/IMP/MECO/ENERCON
9	RISING MAINS	C & S / LEGRAND/ L&T
10	SMOKE DETECTORS	APPOLO / SYSTEM SENSOR
11	RELAYS	GE/TELEMECANIQUE/PROK DEVICES/ LEONARD/DIFF
12	CT'S RESIN-CAST	KAPPA/IMP/AE/KALPA
13	SELECTOR SWITCHES	L&T/SIEMENS/KAYCEE
14	MCB/MCB DISTRIBUTION BOARDS WITH 9 KA FAULT	
	LEVEL FOR LIGHTING	ABB / MERLIN GERIN- SCHNIDER / LEGRAND / L&T
15	BATTERY	EXIDE / STANDARD / AMARON
16	LIGHT FITTINGS	PHILIPS/WIPRO/BAJAJ / HAVELLS / CROMPTON
17	INDUSTRIAL EXHAUST FANS	GEC/KHAITAN
18	CEILING/EXHAUST FANS	KHAITAN/ANCHOR/CG
19	ELCB/ELMCB	ABB / MERLIN GERIN- SCHNIDER / LEGRAND / L&T
20	FRLS WIRES-1100V GRADE	FINOLEX/RR CABLE / POWER-FLEX / POLYCAB
21	LIGHT SWITCHES	MDS MOSAIC / ABB / MK INDIA / ANCHOR / LEGRAND
22	TELEPHONE CABLE INDOOR/ OUTDOOR (JELLY FILLED)	DOORAVANI/DELTON/KRONE/D-LINK FINOLEX/KARNATAKA
23	PVC CONDUITS-FRLS (2mm)	TELECABLES/VINDHYA/POLYCAB
24	BUS BAR SUPPORT SYSTEM	VIP/PRECISION/ATUL / NELCO/SUDHAKAR

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	(SMC SHEETS)	POWERMAT
25	BUS BAR TAPING BOX	SIEMENS/SCHNEIDER/ABB/L&T
26	DIGITAL KWH METERS	ENERCON / HPL / PROK DV'S/ICD
27	FIRE PANEL	MORLEY / APPOLO
28	CAT-6 DATA CABLE	KRONE / D-LINK / AMP
29	AIR CONDITIONERS	MISTUBISHI / SAMSUNG / VOLTAS / TOSHIBA
30	PASSENGER LIFTS	KONE / SCHINDLER / JOHNSONS

LOAD MANAGEMENT:

- Power Supply: From Electricity board, Diesel Generator
- 11KV HT Service include transformer & Switch yard / LT Service
- 11 kV switch yard where ever it is required
- Main LT Panel with changeover switch
- Automatic Power factor correction panel
- UPS for work stations, computer rooms, Server rooms, Digital Boards & Emergency lighting
- Distribution Boards
- Generator Backup shall be considered for Lighting, Fans, Common utilities, Office room A.C for Power redundancy.
- UPS shall be of 30 min backup.

LT POWER & MAIN LT PANEL:

- 3 Phase, 4 Wire, 433V, 50 HZ supply shall be provided at the incomer of the LT panel.
- Approved Energy meter shall be provided in the LT panel with KWH & KAVH reading.
- CT short circuit links shall be provided in LT panel.
- LT Panel manufacturer shall be CPRI approved vendor.
- Change over switch shall be provided for DG operations, if main supply fails.
- LT panel shall be properly earthed.
- All Cables shall be properly entered to the LT Panel through gland and gland earthing shall be done.
- APFC panel control wiring to be completed as per requirement.

AUTOMATIC POWER FACTOR CORRECTION SYSTEM:

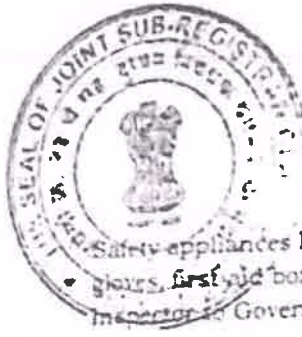
- Power factor shall be maintained at 0.95 to 0.99 lagging.
- APFC panel sizing shall be considered for 40% of connected load.
- APFC panel shall be provided with proper ventilation system. (with exhaust fans)
- The cylindrical type / Detuned type insulated capacitors will be proposed.
- The power factor correction system will be designed with digital automatic power factor correction relays, capacitor duty contactors, MCB or MCCB for the protection of the system.

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Safety appliances like portable fire extinguishers, fire buckets with sand, rubber mats, first aid box, first aid charts etc. as per the norms of the CEIG (Chief Electrical Inspector, Government of Andhra Pradesh) will be carried out.

- One number of 4.5Kg Co2 fire extinguisher in each electrical room.
- One 4.5Kg DCP fire extinguisher in each electrical room.
- Rubber mats in front of the electrical panels.
- Shock treatment chart & First aid box in each electrical room.
- Ventilation system shall be considered for Electrical rooms.
- EXIT signage shall be provided.

COMMISSIONING & HANDING OVER:

All electrical equipment shall be installed, tested & commissioned in accordance with latest relevant standards and codes of practice published by Bureau of Indian standards.

After successful commissioning, the project has to be handed over to the Lessee with the test certificates, vendor list of equipment, as built drawings, Operational manual training to be given to maintenance team.

The balance spares shall be submitted by the owner to the Lessee.

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गाव नमुना सात (अधिकार अभिलेख पत्रक)

[महाराष्ट्र जमीन महसूल अधिकार अभिलेख आणि नोंदवक्या विभाग करणे व दुरुस्तीत ठेवणे] निघन १९७१ यादीत निघन ३.५.६ आणि ७]

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जिल्हा - पुणे

गाव :- संडी (५५६२४५)

LLPN: 35247626870

भूपावन क्रमांक ८ उचरेनाग

४०/१/१२/४०/४/२६६/८०८८/५२

रोलाचे स्थानीक नाव :

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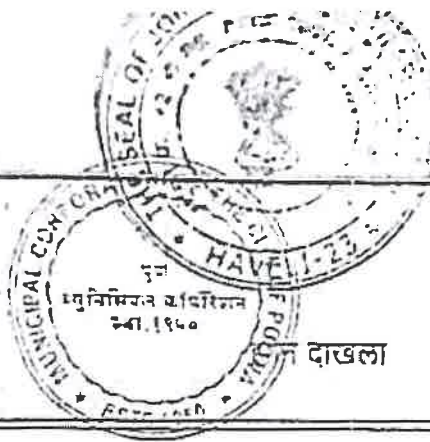
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 दिनांक - २२/०९/२०२२

५६ / ३३ - राजजित डेहलुवाल्ल तरे बाबलाले बाबा बाबा बाबा

:- कांडवा दु. ॥ गदगान, पुने

विषय - मानव प्रगति विभाग काजना

सं. ५८ - आचार्य आ. ५२३८ दि

पत्रिका नं - सीई/टीई/१६२३३/२२

[illegible]

॥॥ = वा तदर्थं वा तदर्थं वा तदर्थं

ਸਦਾ ਨਵ - ਜਾਂਤੀ ਸਦੇ ਨ ੪੦

प्रिभाग :- निदास्ती झोन

यरील सर्व्हे नदरचा काही भाग मान्यता प्राप्त प्रादेशिक आराखड्यांमधील खालील रररर्यात जात आहे.

— — —

परंतु निष्कृत किया निष्कृतीचा काही भाग नाग्यता प्राप्त प्रादेशिक आराखड्यानुषंगील खालील आरक्षणवाटो आरक्षित केला आहे.

3) -

इतर माहिती :- सदर निष्कर्षाचा प्रश्न दाखला नान्यता प्राप्त आर.पी. नकाशा याप्रमाणे दिलेला असून अंतिम नान्यता निष्पत्तीदेखी यान्थ्य बदल होण्याची शक्यता नाकारता येत नाही. याची नोंद घ्यावी.

काव्ये

कनिष्ठ अभिप्रेता
ब्रह्मकान्त चक्रवर्त योशना
पुणे महानगरपालिका

उप अधिकारी
बांधकाम विभाग पोर्तुगा
मुंबई महानगरपालिका

—

३। तत्पूर्व त न ऐवजी पेट हिश्यामनाणे दाखला हवा असल्यास या कार्यालयाकडून जागेवर आखणी करून घेणे आवश्यक आहे त्यानधील पेट हिश्याची शासनाच्या मूनापन कार्यालयाकडून जागेवर मोजणी करून त्यामनाणे तयार केलेल्या मोजणी नकाशाच्या चार प्रती व प्रत्येक हिश्यात आवश्यक ते शुल्क महानगरपालिकेकडे प्राप्त झालेले पेट हिश्याचा झोनिंग दाखल्याबद्दल पुढील कार्यावाही करण्यात येईल.

२) नटेशिर्का अराखुड्यातील अद्ययावत फेरदल / नॉडॉफिकेशन यादत खातरजना होणेवर.

NARAYANA EDUCATIONAL TR

SECRET

NARAYANA EDUCATIONAL TRUST

SECRETARY



१२१७६ ३४
२०२३

"नक्कल" प्रत
मोजे :- उंडी
तालुका :- हवेली
जिल्हा :- पुणे

अतितातडी/ह.का/मो.२.नं/१९५०१/२०२३

मोजणीचे कारण
अर्जदार श्री.रणजित डेव्हर्षी तर्फे यायालाहेव भागात अर्जदार
यांनी मोजे उंडी ता.हवेली येथील स.नं.
४०/१/१/२/४०/१/२ते६/ प्लॉट ५२च्या क्षेत्राचे मोजणीसाठी
केलेल्या अर्जानुसार मोजणीकाम केले असे.

समजूतीच्या टिपा

- १) या प्रमाणे स.नं. ची हद्द अभिलेखातून असे.
- २) या प्रमाणे प्लॉट ची हद्द असे.

वरील प्रमाणे ? ते २ टिपा नमुद उद्धत.



हवेली-२३
२९४७ ३५ ४७
२०२३



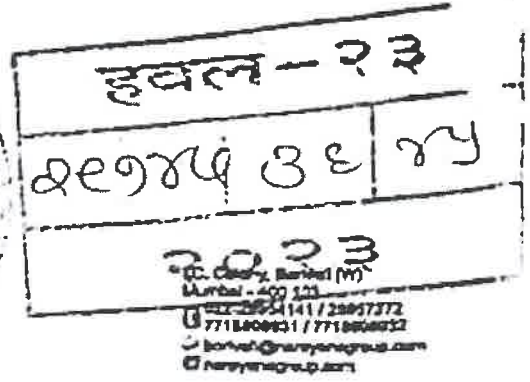
पंजाब = १११०००

मोजणी करणार :- (Xxx)
(मुद्रावाचक)

मोजणी तारीख :- १४/१०/२०२२

NARAYANA EDUCATIONAL TRUST

SECRETARY



CERTIFIED TRUE COPY OF THE RESOLUTION PASSED AT THE MEETING OF BOARD OF TRUSTESS OF NARAYANA EDUCATIONAL TRUST HELD ON WEDNESDAY, 1ST NOVEMBER, 2023 AT 10:30 AM AT 10TH FLOOR, MELANGE TOWER, NO. 80-84, PATRIKA NAGAR, HITECH CITY, MADHAPUR, HYDERABAD, TELANGANA 500081

AUTHORIZATION FOR EXECUTION OF THE LEASE DEED

"RESOLVED THAT consent of the Trust be and is hereby accorded to execute the proposed lease deed with M/s. MIND AND NATURE ASSOCIATES (PAN No.ABBFM8455H), a Partnership Concern having its registered office at No.1, C-2, Brahma Estate, Khondwa Khurd, Pune, represented by its Partner, in respect of the premises admeasuring 25,000 Sq.ft. of built up area consisting Ground + Two floors building to be constructing on the land admeasuring 4390.39 Sq.mtrs, bearing Plot No.52, covered under Khasra No's.40/1/1/2, 40/1/2 to 6, situated at Undri Village, Haveli Taluka, Pune District, Maharashtra, on such terms and conditions as contained in the draft lease deed tabled at the meeting.

RESOLVED FURTHER THAT MR. V SRINATH, Managing Trustee or any other Trustee be and are hereby severally authorized to sign the lease deed for and on behalf of the Trust and to present the same for registration before concerned Registrar of Assurances.

RESOLVED FURTHER THAT a copy of this resolution, under signature of any one Trustee, be furnished to concerned parties/authorities, for its being acted and relied upon."

//CERTIFIED TRUE COPY//
For Narayana Educational Trust


V SRINATH
Managing Trustee

NARAYANA EDUCATIONAL TRUST


SECRETARY





हवल-२३	
२९४७/८६	४५
२०२३	

[विशेष-भ. भा. (मु. न. वि.) २-प.]



4f)

नोंदणीचे प्रमाणपत्र

याद्वारे प्रमाणपत्र देण्यात येते की, खाली वर्णन केलेली सार्वजनिक विद्यस्तव्यवस्था ही आज, मुंबई सार्वजनिक विद्यस्तव्यवस्था अधिनियम, १९५० (सन १९५० चा मुंबई अधिनियम क्रमांक २९) वा अन्वये NARAYANA EDUCATIONAL TRUST येथील सार्वजनिक विद्यस्तव्यवस्था नोंदणी कार्यालयाने योग्य रीतीने नोंदण्यात आलेली आहे.

सार्वजनिक विद्यस्तव्यवस्थेचे नाव NARAYANA EDUCATIONAL TRUST

सार्वजनिक विद्यस्तव्यवस्थांच्या नोंदणी पुस्तकातील क्रमांक F-30936 (num)
Vijay Ganesh Joshi यांचे प्रमाणपत्र दिले.

आज दिनांक 5/02/2015 रोजी माझ्या सहीनिशी दिले.

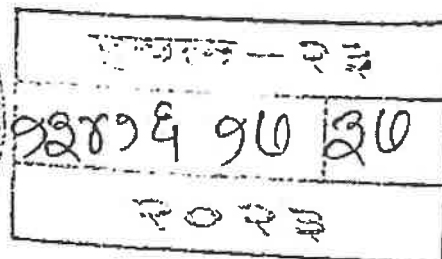
सिफा



सही Vijay Ganesh Joshi
Office of the Joint Sub-Registrar, Mumbai
गवर्नर

NARAYANA EDUCATIONAL TRUST

SECRETARY



भारत सरकार
GOVT. OF INDIA

e - Permanent Account Number (e-PAN) Card

नाम / Name

मिन्न, गद्य, पं. तत्त्व

Date of Incorporation / Form

हवल्ल-२३

୨୧୭୪୯ ୩୮ ୪୯

२०२३

Signature yalid

Digital Signature:

Income Tax Dept.
Date: 2022-12-16

- ✓ Permanent Account Number (PAN) facilitate Income Tax Department linking of various documents, including payment of taxes, assessment, tax demand and arrears, matching of information and easy maintenance & retrieval of electronic information etc. relating to a taxpayer. **स्थायी लेखा संख्या (PAN) एक करदाता से संबंधित विभिन्न दस्तावेजों को जोड़ने में सहायक विभाग को सहायक होता है, जिसमें करों का भुगतान, आकलन, कर मांग, देयक वसूली, सूचना प्रसारण और इनपुट-आउटपुट का आकलन।**
- ✓ **Quoting of PAN is now mandatory for several transactions specified under Income Tax Act, 1961 [Refer Rule 114B of Income Tax Rules, 1962]** **आवक्य और अनिवार्य, 1961 के तहत निर्दिष्ट कई लेनदेन के लिए स्थायी लेखा संख्या (PAN) का उद्धरण अब अनिवार्य है [आवक्य नियम, 1962 के नियम 114B, पर संदर्भ दें]**
- ✓ **Possessing or using more than one PAN is against the law & may attract penalty of upto Rs. 10,000.** **एक से अधिक लेखा संख्या (PAN) का प्रयोग या उपयोग अवैध है, कायदा के विरुद्ध है और इससे जुड़े 10,000 रुपये तक का जुर्माना हो सकता है।**
- ✓ **The PAN Card enclosed contains Enhanced QR Code which is readable by a specific Android Mobile App. Keyword to search for a specific Mobile App on Google Play Store is "Enhanced QR Code Reader for PAN Card."** **माला एन कोड को पढ़ने के लिए आवश्यक एक विशिष्ट एंड्रोइड मोबाइल ऐप द्वारा पठनीय है। Google Play Store पर इस विशेष कोड के लिए खोजने के लिए शब्द "Enhanced QR Code Reader for PAN Card" है।**

- 54

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT OF INDIA

પ્રધાન મંત્રી સચિવાલય કોડ
Permanent Account Number Card

48VF 98465M

MINI AND NATURE ASSOCIATES

Date of measurement: 07/12/2022

३. कर्मचारी के पालन/भरण पर सरकार का क्या कार्य/चिन्ता
अन्तर्गत वेतन वृद्धि, हक छुट्टी वृद्धि
इ. वी. बर्खास्त, मारी फौजियी,
जलियत १३६१, मार्च ५, १९७४।
कोशिश करोगी, टी.एस. राजा, लोक क. भाग,
पृष्ठ - १११०/६

If this card is lost, damaged, lost and is found, please return it to the library.

Indocon Tea PAN Services Unit, NSDL
1st Floor, Market Wing,
Plot No. 34, Survey No. 8072,
Mandla Colony, Near Dore, Bangalore-56
Phone: 411616

Tel. 91-20-2721 8040; Fax. 91-20 2721 8041

Electronically issued and Digitally signed ePAN is a valid mode of issue of Permanent Account Number (PAN) post amendments in clause (c) in the Explanation occurring after sub-section (8) of Section 139A of Income Tax Act, 1962 and sub-rule (6) of Rule 114 of the Income Tax Rules, 1962. For more details, click here

NARAYANA EDUCATIONAL TRUST

SECRETARY

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT OF INDIA

AEFPK1945N

SANJAY YSHANATH KULKARNI

1975-1977

7294 6494 0564

वि. मो. सं. वा. अधिकारी

Address: 310 Vardh...
Kurla, Mumbai 400018
Mumbai, Maharashtra 400018

1987

2986 32 82

Government of India

आयकर विभाग
INCOME TAX DEPARTMENT

भारत सरकार
GOVT OF INDIA

SAHIL RAJESH DADDIYA

RAJESH SHRIRAM DADDIYA

06/07/1985

BTRP00384B

भारतीय विशिष्ट ओळख प्राधिकरण
Unique Identification Authority of India

Enrollment No.: 000000114039142

6511 2795 1798

आपला आधार क्रमांक / Your Aadhaar No. :
6511 2795 1798

माझी आधार, माझी ओळख

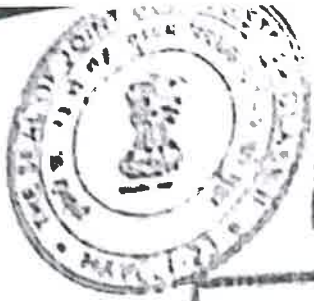


हवेली - २३

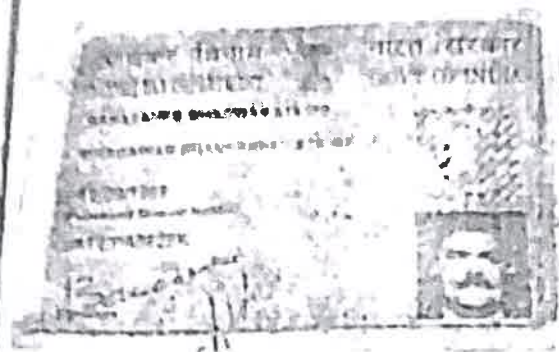
१२४९६ ९० ३०

२०२३

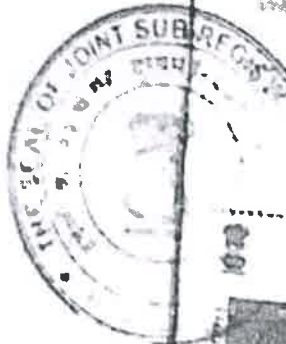
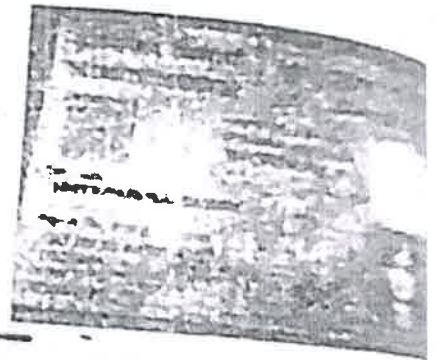
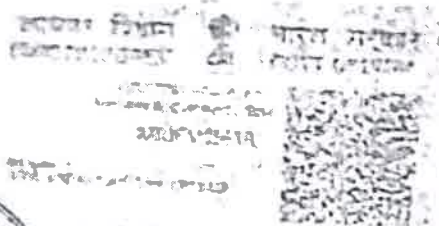
NARAYANA EDUCATIONAL TRUST
SECRETARY



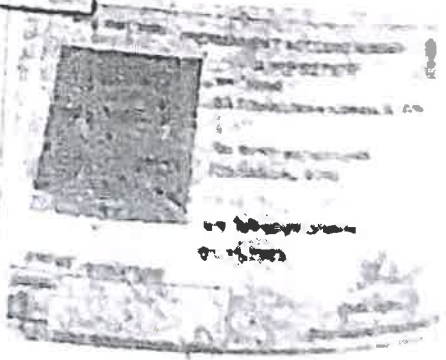
29876 99 20
2023



Potential



हवल-२३
29876 10 84



Handwritten signature.

Handwritten signature.

Handwritten signature.

NARAYANA EDUCATIONAL TRUST

SECRETARY

आयकर विभाग
TAX DEPARTMENT

वर्मा
NICHALA SRIDHAR RAO
1977
786K

भारत सरकार
GOVT. OF INDIA



आयकर विभाग
TAX DEPARTMENT

NARAYANA EDUCATIONAL TRUST

802/2015

ACTN2045G

भारत
GOVT



हवेल-२३		
२९४६	४९	४५
२०२३		



भारत प्रभुत्व
Unique Identification Authority of India
Government of India

Enrolment No.: 1094/50765/00849

To
Nikhala Srinath
(Nikhala Srinath)
S/O Late V Srinath Rao
1-10-11-11-11
Street No 2
Aashok Nagar
Himayyathur
Hyderabad
Andhra Pradesh 500028

Date: 23/03/2011



EY 04546639 8 IN

आधार संख्या / Your Aadhaar No :

7422 2980 9358

आधार - सामान्यता का कर्म

NARAYANA EDUCATIONAL TRUST

SECRETARY

Handwritten signature



भारत प्रभुत्व
GOVERNMENT OF INDIA

Nikhala Srinath
Nikhala Srinath



जन्म वर्ष / Year of Birth 1977
पिता / Father

7422 2980 9358



१२४ २०१४७

दिनांक: ०९ डिसेंबर २०२३ १२:०९ म.न.

दम्न गोपयोगा भाग-१

हवेल २३

दम्न क्रमांक: २९१४७/२०२३

दम्न क्रमांक: हवेल २३/२९१४७/२०२३

बाजार मूल्य: रु. १४,८२,५३,६७४/- गोबदना: रु. ००/-

प्रत्येक मुद्रांक शुल्क: रु. ८०,३७,०००/-

दु. नि. नह. दु. नि. हवेल २३ यांचे कार्यालयात

प्र. क्र. २९१४७ वर दि. ०९-१२-२०२३

जे. १२:०७ म.न. या. हजर केला,

पावनी: ३१५०७

पावनी दिनांक: ०९/१२/२०२३

मादरकरणाचे नाव: मे. नारायणा एज्युकेशनल ट्रस्ट नफे अधिकृत
स्वाधरीधारक वही धीनाथ -

नोंदणी फी

रु. ३००००.००

दम्न हाताळणी फी

रु. ९००.००

पृष्ठांची संख्या: ४५

एकुण: ३०९००.००

दम्न हजर करणाऱ्याची मही:

Jt. Sub Registrar Haveli 23

Jt. Sub Registrar Haveli 23

दम्नाचा प्रकार: भांडपट्टा

मुद्रांक शुल्क: (एक) कोणत्याही महानगरपालिकेच्या हद्दीत किंवा म्हातगत असलेल्या कोणत्याही कटक क्षेत्राच्या हद्दीत किंवा उप-खंड
(दोन) मध्ये नमूद न केलेल्या कोणत्याही नागरी क्षेत्रात

शिफा क्र. १ ०९ / १२ / २०२३ १२ : ०७ : ३४ PM ची वेळ: (मादरीकरण)

शिफा क्र. २ ०९ / १२ / २०२३ १२ : ०८ : ४४ PM ची वेळ: (फी)

प्रतिज्ञापत्र

आम्ही लिहून देणार व लिहून घेणार
सत्य प्रतिज्ञेवर लिहून देतो की मद्र दस्तास
जोडलेली पूर्ण कागदपत्रे ही आसल व खरी
असून ती खोटी व घनावट आढळून आल्यास
नोंदणी अधिनियम १९०८ चे कलम ८२ अन्वये
होणाऱ्या कायद्यांनुसार आम्ही जबाबदार राहू.

लिहून घेणार

लिहून देणार



NARAYANA EDUCATIONAL TRUST

SECRETARY



इय्य संप्रदायः ५५-२

प्रश्न 23

द्वितीय नमूना 29147/2023

23/09/2023

1974-75

प्रह्लादात्मकं नाम त्रु पञ्च

मात्र बाईर ओई देवर बस्योउम मज मन पी नई पाटोवर बस नई
 हस्योउम प्रवेगमायाई बु.मु. निबिना मनवान दमाडिबा
 एमा लोई नः - माया नः - इमायरीबे तावः - जसि नः - रोई को
 बादेर पुनः, मयागपु. पुनः
 देन नवरः AB/FMB455H

सुभाषचन्द्र बोस

विष्णु चरण
वयः
प्राथम्ये

ভ্রাতৃত্ববিধ

शुद्धा प्रवर्तमान

2 नाथ वाक्यान्तर्गत अर्थानुसार
पद्म शब्द नः, काष्ठ नः, हमार्याचि नाथः, अर्थात् नः, गौड नः
अथ वाच्यं पुनः अथाग्रे, पुनः
तेन नवः ABVFM8455H

नाम: श्री. म. म. म.
 पता:-
 बस:-
 न्यायाधीश:-

3 नाव बर्तीश बिमलनाथ पोर्ती
 गथाःप्यत नः -, पाळा नः -, इमाग्रीचे नावः -, झरक नः -, गोंड पोः
 श्रीध बांगर पुणे , नहागष्ट, पुणे.
 पन नंबरःABVFM8455H

पाठक प्रो. अश्विनी
शेखर
इय -
भ्यासगी

4. नाथ भास्त्रिभ गज्जेल दगडिया
पना प्यां नः, नाया नः, इमातीने नाथः, अनाथ नः, गंध नः
अथ धाना पुण, महाराष्ट्र, पुणे.
पैन नगर, ABVFM:8455H

पंडित श्री. अटारी
 श्री. अटारी
 वय :-
 स्थायी :-

5 नावःम.सांन्ड अँन नवर ब्रनोमिस्टम नरें भागीदार ज्या नरें
इन्वायेन्ड प्रवेसाभाता बु.मु. नवर बिभनाय कुलकर्णी
पत्ता,ज्योद नः - माटा नः - इमानीचे नावः - ज्योद नः - गोट नः
जीध बागेन पुनं, महाष्ट्र, पुनं.
नेन नवर:ABVFM8455H

विह्वल गंगा
वष :-
व्यापारी
Kullani T

6 नाथः मं नागपणा पुरुषोत्तमान्त इत्युक्तं अधिकृतं स्वास्तीधायकं स्त्री
धीनाथ -
पनाः पनाः नं - , माया नः - , इमातीचे नाथः - , इनाक नः - , लोड नः -
गोविंदनी (पेम्प) मुकुरं, आधा प्रदेम, हैदराबाद.
नं नं नं AACTN2045G

माडेकन
वय :- 46
म्हणजे

हरिजन हस्तशिल्प कला दिशा नवास्कीन भाडेपट्टा वा दाना गुंवज कला दिश्याचे कवुल कामान.
गिहा न.3 ची वेळ 09/12/2023 12:15:51 PM

ਮੰਦਰ:-

श्रीलक्ष्मी:-
मय इत्येव दुष्कृतं निबन्धकं यांच्छां श्रीलक्ष्मीं अमुनं दत्तप्रेषणं करुणं देणां नानां व्यतीतिः श्रीलक्ष्मीनां, व स्यां श्रीलक्ष्मी पदविना

अनु ४. पञ्चकाशं नाव त एता

1 नाव:- वसिम उमेश डावी
वय:35
वसा:शिवाजीनगर पुणे
पिन कोड:411005

छात्राधिकार

दृष्टा प्रमाणम्

शिका क्र. 11 ची वेळ: 09 / 12 / 2023 12 : 16 : 12 PM

Jl. Sub Registrar Davell 23

रा. कृषम नियंत्रक वर्ग-२
हबेली क्रं २३ पुणे



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Payment Details.

Sr.	Purchaser	Type	Verification no/Vendor	GRN/Licence	Amount	Used At	Debit Number	Debit Date
1	MS MIND AND NATURE ASSOCIATES	eChallan	00040572023120982839	MH012132608202324E	906000.00	SD	0006364323202324	09/12/2023
2	MS MIND AND NATURE ASSOCIATES	eChallan	00040572023120735001	MH012060581202324E	7102000.00	SD	0006364327202324	09/12/2023
3		DHC		1223075917433	900	RF	1223075917433D	09/12/2023
4	MS MIND AND NATURE ASSOCIATES	eChallan		MH012060581202324E	30000	RF	0006364327202324	09/12/2023

[SD:Stamp Duty] [RF:Registration Fee] [DHC: Document Handling Charges]

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हवेली - २३		
२९४५	४५	४५
२०२३		

प्रमाणित करण्यात येत की
या दस्तऐवजात एकूण ४५ पृष्ठे आहेत
पहिले नंबराचे पुस्तकाचे
२९४५ नंबरी नोंदला

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SECRETARY

५ मह. न्याय निबंधक (वर्ग-२) हवेली क्र २३
दिनांक ९/१२/२०२३



१०/१२/२०२३

गाव नमुना ६
फेरफार नोंदवही (फेरफार पत्रक)
। महाराष्ट्र जमीन महसुल अधिकार अभिलेख आणि नोंदवही (तयार करणे व सुस्थितीत ठेवणे) नियम, १९७१ यातील नियम १०।

गाव :- उंझी

तालुका :- हवेली

जिल्हा :- पुणे

नोंदीचा अनुक्रमांक	संपादन केल्या आधकाराचे स्वरूप	परिणाम झालेले भुमापन व उपविभाग क्रमांक	अधिकार्याचे नाव , आद्याक्षरी व शेरा
12252	<p>फेरफाराचा प्रकार : अनोदणीकृत नोंदीचा प्रकार : भाडे पट्याने फेरफाराचा दिनांक : 22/12/2023 माहिती मिळालेचा दिनांक : 19/12/2023</p> <p>लिहून घेणार : मे. नारायणा एज्युकेशनल ट्रस्ट तर्फे अधिकृत स्वाक्षरीधारक व्ही श्रीनाथ , बोरिवली(वेस्ट) , मुंबई लिहून देणार : 1) माईड अँड नेचर कन्सेप्ट्स एल एल पी तर्फे पार्टनर च्या तर्फे दस्तेवज प्रवेशासाठी कु मु निकिता रतनलाल दगडिया , 2)बाबासाहेब भगवान आतकिरे , 3)सतीश किसनलाल सोनी , 4)साहिल राजेश दगडिया व 5) माईड अँड नेचर असोसिएट तर्फे भागिदार च्या तर्फे दस्तेवज प्रवेशासाठी कु मु संजय विश्वनाथ कुलकर्णी रा. उंझी यांनी दुय्यम निबंधक सह दु.नि.हवेली 23 यांचेकडील दस्त क्रमांक 29147 दिनांक 09/12/2023 प्रमाणे रक्कम रुपये 0/- घेऊन गट नंबर/ सर्वे नंबर 40/1/1/2/40/1/2ते6/प्लॉटनं/52 क्षेत्र 40.0000 वर दिनांक 09/12/2023 पासून कालावधि वर्ष 30 महिने 0 साठी भाडेपट्ट्याची नोंद दाखल केली. वरीलप्रमाणे कागदपत्रे दप्तरी दाखल असे.</p> <p>हितसंबंधितांना नोटीस बजावल्याचा दि. फेरफार नोंद निर्गतीचा दि.</p> <p>(स्वप्नील साहेबराव आंबेकर) तलाठी उंझी साझा महंमदवाडी ता. हवेली जि. पुणे</p>	<p>40/ 1/ 1/ 2/ 40/ 1/ 2ते6/ प्लॉटनं/ 52</p> <p>एकूण :- 1</p>	<p>(फेरफार प्रतंवित) मंडळ अधिकारी:- हडपसर ता.: हवेली जि.: पुणे दि.:</p>

"या प्रमाणित प्रतीसाठी फी म्हणून १५/- रुपये मिळाले."
दिनांक :- 22/12/2023
सांकेतिक क्रमांक :- 2705000703119500001220233196

(नाव :- स्वप्नील साहेबराव आंबेकर)
तलाठी साझा :- महंमदवाडी ०० :- हवेली जि :-पुणे

फारमगार तलाठी उंझी

ता. हवेली, जि. पुणे

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